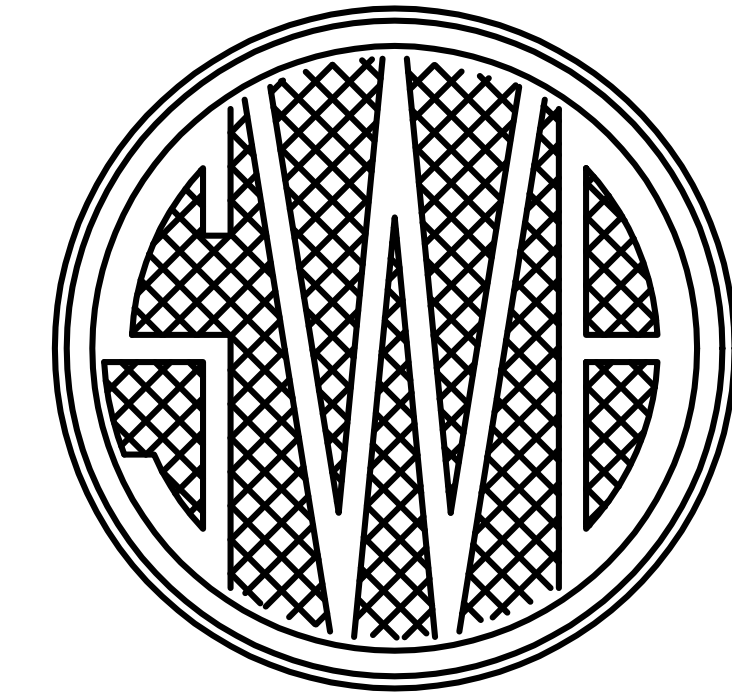
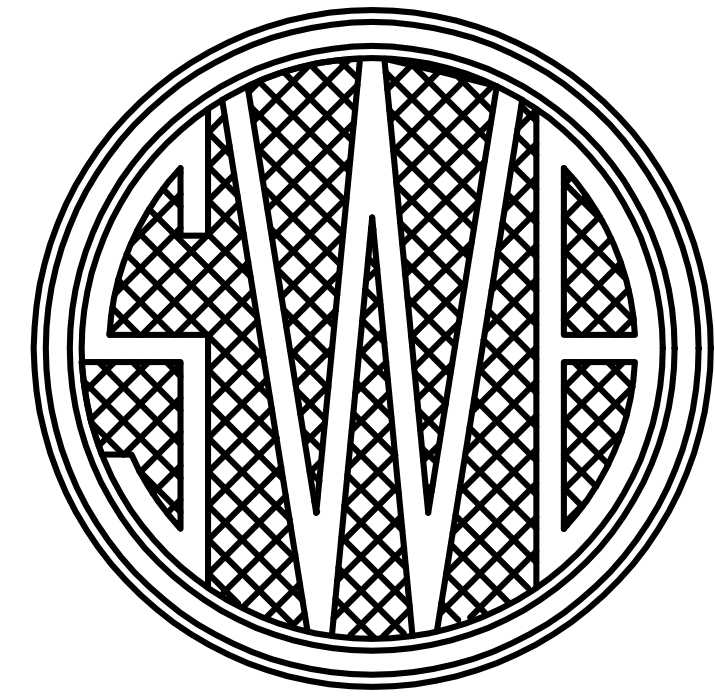


SEWERAGE AND WATER BOARD

OF NEW ORLEANS



ENGINEERING DEPARTMENT

CONTRACT 8174

REPAIRS TO THE ENGINEERING BUILDING

8800 S. CLAIBORNE AVENUE, NEW ORLEANS, LOUISIANA 70118
 A/E PROJECT NUMBER: 25-1130-0046



SITE OR LOCATION PLAN



SHEET No.	TITLE	SHEET No.	TITLE
G001	TITLE SHEET, SITE PLAN	S000	EXISTING ROOF FRAMING PLAN (REFERENCE ONLY)
G002	GENERAL INFORMATION	S100	WIND PRESSURE DIAGRAM
G003	GENERAL NOTES	S101	WIND PRESSURE DIAGRAM
G004	PHOTOGRAPHS, KEYNOTES	S102	TRUSS DETAIL
G005	PHOTOGRAPHS, KEYNOTES, DETAILS		
A101	DEMOLITION/ REMEDIAL FIRST FLOOR PLAN		
A102	DEMOLITION/ REMEDIAL SECOND FLOOR PLAN		
A201	DEMOLITION/ REMEDIAL EXTERIOR ELEVATIONS		
A300	PHOTOGRAPHS, KEYNOTES		
A301	PHOTOGRAPHS, KEYNOTES		
A302	ROOF PLAN, GENERAL AND KEYNOTES, LEGEND		
A303	ROOF DETAILS		

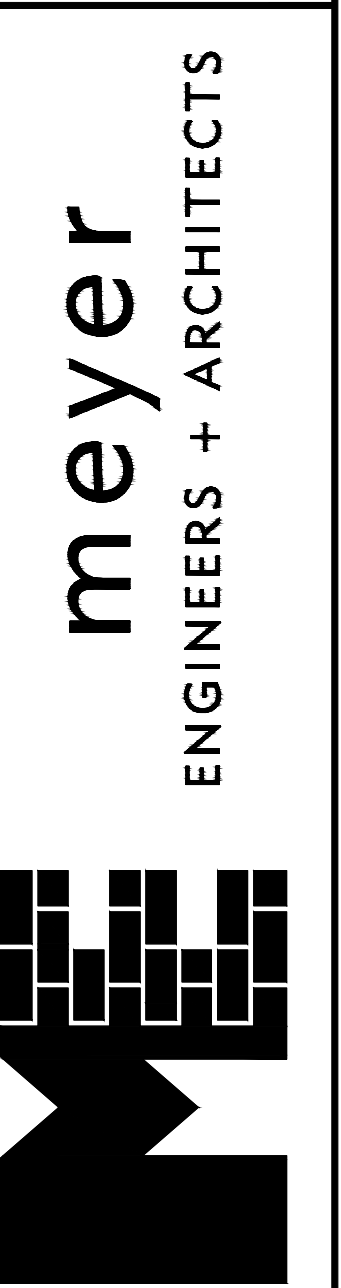
THIS ACKNOWLEDGES THAT THE ATTACHED DRAWINGS HAVE BEEN RECEIVED BY THE SEWERAGE & WATER BOARD OF NEW ORLEANS AND HEREBY FORWARDED FOR PROCUREMENT. THE SEWERAGE & WATER BOARD OF NEW ORLEANS DOES NOT RELEASE CONSULTANT/DESIGNER FROM ANY LEGAL LIABILITY THAT MAY ARISE FROM THE BOARD'S ACCEPTANCE OR USE OF THE ATTACHED DRAWINGS FOR THEIR INTENDED PURPOSE.

GENERAL SUPERINTENDENT

project no. 25-1130-0046
 drawn CSHB
 checked AD
 date 12.18.2025
 revised



Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-el.com



TITLE SHEET, SITE PLAN
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
G001
 1 of 16 sheets

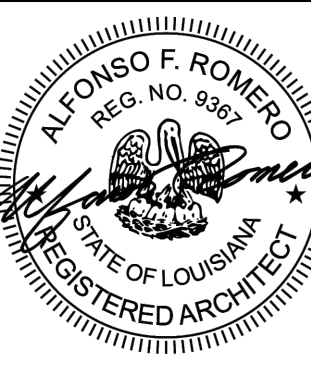
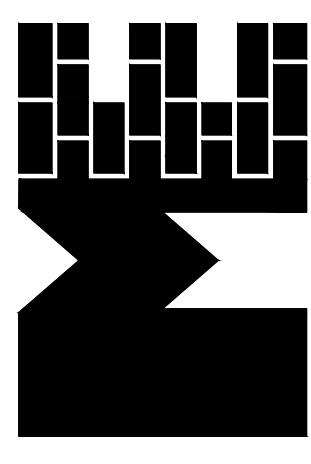
DISCLAIMER:

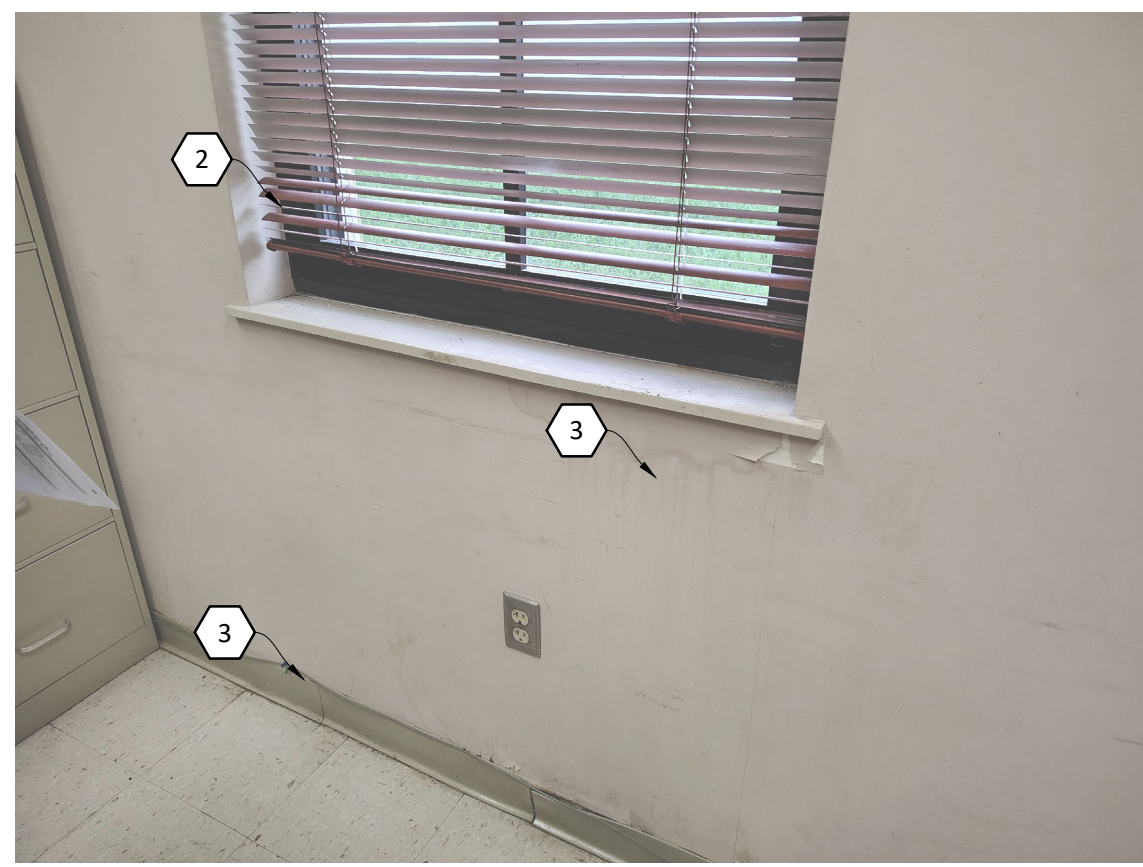
The official and legally recognized set of Bidding and Construction Documents shall be the set of Documents that are on file in the Engineer/Architect's office labeled "Office Set".

1. SCOPE OF WORK: THE SCOPE OF WORK FOR THIS PROJECT CAN GENERALLY, BUT NOT COMPLETELY, BE DESCRIBED AS FOLLOWS:
 - 1.1. BASE BID: A) BUILDING ANNEX - REMOVE AND REPLACE EXISTING DAMAGED COPPER ROOFING ASSEMBLY WITH NEW PREFINISHED STANDING SEAM METAL ROOF PANELS WHICH INCLUDES ALL GUTTERS, TRIM, FLASHING, AND ACCESSORIES AT ROOF AND WALL JUNCTIONS; B) MAIN STAIR E2 - REPAIR THE EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY AND COVER WITH NEW COLD LIQUID APPLIED MEMBRANE ROOFING OVER EXISTING ROOFING. PATCH AND REPAIR EXISTING SKYLIGHT TO ELIMINATE LEAKAGE; C) ENGINEERING BUILDING - REMOVE AND REPLACE ALL FLAT ROOFING WITH NEW MODIFIED BITUMEN ROOFING CONSTRUCTION, INCLUDING ALL GUTTERS, TRIM, FLASHING, AND ACCESSORIES AT ROOF AND WALL JUNCTIONS; AND D) MISCELLANEOUS INTERIOR AND EXTERIOR REPAIRS.
 - 1.2. ALTERNATES: ALTERNATE NO. 1 - ADDITIVE ALTERNATE: PRESSURE-TREATED 1x4 WOOD BATTENS.
 - 1.3. UNIT PRICES: 1) ALL WORK SHOWN WITHIN CONSTRUCTION DOCUMENTS (INTERIOR AND EXTERIOR) EXCLUDING WORK WITHIN UNIT PRICES 2-9 - LUMP SUM; 2) GRAVEL/ BUILT-UP ROOF ASSEMBLY/ REPLACEMENT MODIFIED BITUMEN ROOF ASSEMBLY - LUMP SUM; 3) REMOVAL/ REPLACEMENT OF MODIFIED BITUMEN ROOF ASSEMBLY - LUMP SUM; 4) PATCH MODIFIED BITUMEN ROOF ASSEMBLY/ NEW COLD APPLIED LIQUID MEMBRANE COATING SYSTEM - LUMP SUM; 5) REMOVAL/ REPLACEMENT OF STANDING SEAM METAL ROOF ASSEMBLY - LUMP SUM; 6) REMOVAL OF ADDITIONAL DAMAGE ROOFTOP AND FUME HOOD EQUIPMENT - LUMP SUM; 7) COPPER GUTTER - LINEAR FOOT; 8) GYPSUM BOARD REPLACEMENT - SQUARE FOOT; 9) ACOUSTICAL CEILING TILES- EACH; 10) PRESSURE-TREATED 1x4 WOOD BATTENS - ADDITIVE ALTERNATE - EACH.
2. THE TERM "DOCUMENTS" USED IN THESE GENERAL NOTES REFERS TO THE DRAWINGS, SPECIFICATIONS, PROJECT MANUAL AND ANY ADDENDUM ISSUED.
3. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL ASPECTS OF THE WORK OUTLINED IN THESE BIDDING AND CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES OR CONDITIONS NOT ACCURATELY DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE A/E PRIOR TO BID DATE. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR THE CONDITION SHOULD HE BE AWARDED THE CONTRACT.
4. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE A COMPLETELY CLEANED CONSTRUCTION SITE WITH NEW ROOFS THAT DO NOT LEAK. INTERIOR OF BUILDING SPACES SHALL BE KEPT DRY, AND FREE OF ANY WATER INTRUSION FROM STORMS DURING DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION. GENERAL CONTRACTOR SHALL CLEAN AND REPAIR ANY RESULTANT WATER DAMAGE AT HIS EXPENSE.
5. EXISTING CONDITIONS, THE LOCATIONS OF BUILT STRUCTURES, FENCING, AND FIELD INDICATED ON THE DRAWINGS ARE BASED ON INFORMATION PROVIDED BY THE OWNER, LIMITED FIELD MEASUREMENTS, SATELLITE IMAGERY, AND FIELD OBSERVATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL ITEMS WITHIN AREA OF WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD AND JOB CONDITIONS PRIOR TO PREPARING HIS BID.
6. THE CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION THAT WILL REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL REPLACE, IN KIND, ALL EXISTING BUILDING COMPONENTS AND MATERIALS DAMAGED DURING CONSTRUCTION.
7. WHERE EXISTING CONSTRUCTION TO REMAIN INTERSECTS WITH CONSTRUCTION TO BE REMOVED, CONTRACTOR SHALL EXECUTE THE DEMOLITION IN SUCH A MANNER THAT THE EXISTING CONSTRUCTION WILL BE PROTECTED AND WILL READILY RECEIVE NEW FINISHES.
8. SALVAGE RIGHTS TO ALL ITEMS TO BE REMOVED SHALL FIRST BE GIVEN TO THE OWNER PRIOR TO INITIATION OF THE DEMOLITION WORK. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AS TO ANY ITEMS THAT THE OWNER HAS IDENTIFIED FOR SALVAGE AND DELIVER TO LOCATIONS ON THE PREMISES AS DIRECTED. ALL REMOVED MATERIALS NOT SALVAGED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
9. THE A/E SHALL APPLY FOR THE BUILDING PERMIT AND SUBMIT THE DOCUMENTS TO THE LOUISIANA STATE FIRE MARSHAL, IF APPLICABLE. HOWEVER, THE CONTRACTOR SHALL PICK UP AND PAY FOR ALL REQUIRED BUILDING PERMITS FROM THE AUTHORITY HAVING JURISDICTION (AHJ).
10. THE CONTRACTOR SHALL NOT SPLIT THE SET OF CONSTRUCTION DOCUMENTS TO DISTRIBUTE TO THEIR SUBCONTRACTORS. THE DOCUMENTS PROVIDED FOR CONSTRUCTION SHALL REMAIN A COMPLETE SET OF DOCUMENTS AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT.
11. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND PERFORM ANY WORK SHOWN ON ANY SHEET OF THE DOCUMENTS REGARDLESS OF WHERE IT IS SHOWN. IF THERE IS CONFLICTING INFORMATION IN THE DOCUMENTS THEN THE MORE STRINGENT OF THE REQUIREMENTS AS DETERMINED BY THE A/E SHALL BE REQUIRED.
12. THE CONTRACTOR SHALL ALLOW THE OWNER AND THE A/E ACCESS TO THE SITE AT ALL TIMES.
13. CONTRACTOR SHALL AT ALL TIMES CONDUCT HIS OPERATIONS AS TO ENSURE THE LEAST INCONVENIENCE TO THE OWNER'S STAFF, VISITORS, AND ADJACENT PROPERTY OWNERS.
14. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENTS OF INSPECTION AND CODE ENFORCEMENT, SAFETY AND PERMITS, LOUISIANA STATE FIRE MARSHAL'S OFFICE, PUBLIC WORKS DEPARTMENTS, PUBLIC UTILITIES, ACCOMPANYING PROJECT SPECIFICATIONS AND OTHER SUCH PARISH, STATE, OR FEDERAL STANDARDS THAT ARE APPLICABLE.
15. STAGING AREA: THE LOCATION OF THE STAGING AREA SHALL BE DETERMINED BY THE OWNER. CONTRACTOR SHALL STORE ALL HIS MATERIALS, SUPPLIES, AND EQUIPMENT IN THE STAGING AREA. CONTRACTOR SHALL PROTECT HIS STAGING AREA WITH TEMPORARY FENCING. OWNER SHALL NOT BE RESPONSIBLE FOR THEFT AND VANDALISM TO CONTRACTOR'S TRAILER OR ANY MATERIALS, SUPPLIES OR EQUIPMENT STORED IN THE STAGING AREA.
16. USE OF THE OWNER'S TOILET ROOMS IS STRICTLY PROHIBITED. CONTRACTOR SHALL PROVIDE SELF-CONTAINED PORTABLE TOILET UNITS FOR USE BY HIS WORK FORCE.
17. CONTRACTOR SHALL PROVIDE CLEAN COLD ICE WATER IN APPROVED WATER JUGS AND DRINKING CUPS FOR HIS WORK FORCE AT ALL TIMES WHEN WORK IS IN PROGRESS.
18. IF REQUIRED BY THE OWNER, ALL CONTRACTING PERSONNEL SHALL DISPLAY THEIR COMPANY IDENTIFICATION BADGE AT ALL TIMES WHEN THEY ARE WORKING IN OR AROUND THE BUILDING.
19. ONSITE PARKING FOR CONTRACTOR'S PERSONNEL SHALL BE PERMITTED BUT ONLY AT THE LOCATIONS APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT ALLOW ANY VEHICLES TO PARK AT ANY OTHER LOCATION ON THE PROJECT SITE.
20. DELIVERIES: VEHICLES DELIVERING MATERIALS, SUPPLIES AND EQUIPMENT FOR THE PROJECT SHALL BE ALLOWED ON THE BUILDING SITE. CONTRACTOR SHALL UNLOAD MATERIALS AND EQUIPMENT IN A TIMELY MANNER AND THEN MOVE THE DELIVERY VEHICLE OFF SITE.
21. WASTE MATERIALS: DISPOSE OF REGULATED AND HAZARDOUS WASTE MATERIALS OFF SITE, IN A LEGAL MANNER AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS, CODES, ORDINANCES AND REGULATIONS. ALL OTHER WASTE MATERIALS SHALL BE DISPOSED OF IN A TRASH DUMPSTER THAT IS PROVIDED BY AND PAID FOR BY THE CONTRACTOR. LOCATE TRASH DUMPSTER AS DIRECTED BY OWNER. USE OF THE OWNER'S TRASH DUMPSTER IS STRICTLY PROHIBITED. ALL CLEAN-UP SHALL BE PERFORMED BY THE GENERAL CONTRACTOR ON A REGULAR BASIS THAT IS ACCEPTABLE TO THE OWNER. ANY TRASH OR DEBRIS FOUND OUTSIDE THE AREA OF WORK DUE TO CONSTRUCTION SHALL BE REMOVED IMMEDIATELY.
22. CONTRACTORS ARE REQUIRED TO RESEARCH LOCAL NOISE LAWS, CODES AND ORDINANCES ALLOWED AND TIMES WHEN CONSTRUCTION ACTIVITIES ARE ALLOWED.
23. NOISY WORK: CONTRACTOR IS ADVISED THAT THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION AND THAT IT MAY BE NECESSARY FOR THE OWNER TO DIRECT HIM TO STOP PERFORMING EXCESSIVELY NOISY WORK (SUCH AS GRINDING, DRILLING, SAW CUTTING, JACK HAMMERING, ETC.) IN SOME AREAS. UPON NOTIFICATION THE CONTRACTOR SHALL IMMEDIATELY STOP THE NOISY WORK AND RELOCATE HIS WORK TO ANOTHER AREA. NO EXTRA CHARGE SHALL BE ALLOWED IF THE CONTRACTOR IS DIRECTED TO STOP NOISY WORK IN A SPECIFIC AREA. CONTRACTOR IS ADVISED THAT THE NOISY WORK WILL HAVE TO BE PERFORMED DURING OFF HOURS, WEEKENDS OR HOLIDAYS AS DIRECTED BY THE OWNER. NOISY WORK TO BE PERFORMED ON THIS PROJECT INCLUDING CORE DRILLING, SAW CUTTING, GRINDING, ETC. REQUIRES 48 HOURS ADVANCE WRITTEN NOTICE TO THE OWNER.
24. WORK THAT INVOLVES ODOR EMITTING MATERIAL OR EQUIPMENT: CONTRACTOR IS ADVISED THAT THE BUILDING MAY BE OCCUPIED DURING CONSTRUCTION AND THAT IT MAY BE NECESSARY FOR THE OWNER TO DIRECT HIM TO STOP PERFORMING WORK THAT PRODUCES AN OBJECTIONABLE ODOR. SUCH ODOROUS WORK SHALL INCLUDE BUT SHALL NOT BE LIMITED TO PAINTING, ADHESIVES, ROOFING, AND EQUIPMENT THAT PRODUCES EXHAUST, OR ANY OTHER OBJECTIONABLE ODOR PRODUCED BY THE WORK. UPON NOTIFICATION THE CONTRACTOR SHALL IMMEDIATELY STOP THE ODOROUS WORK AND PERFORM WORK TO ANOTHER AREA. NO EXTRA CHARGE SHALL BE ALLOWED IF THE CONTRACTOR IS DIRECTED TO STOP ODOROUS WORK. CONTRACTOR IS ADVISED THAT THE ODOROUS WORK WILL HAVE TO BE PERFORMED

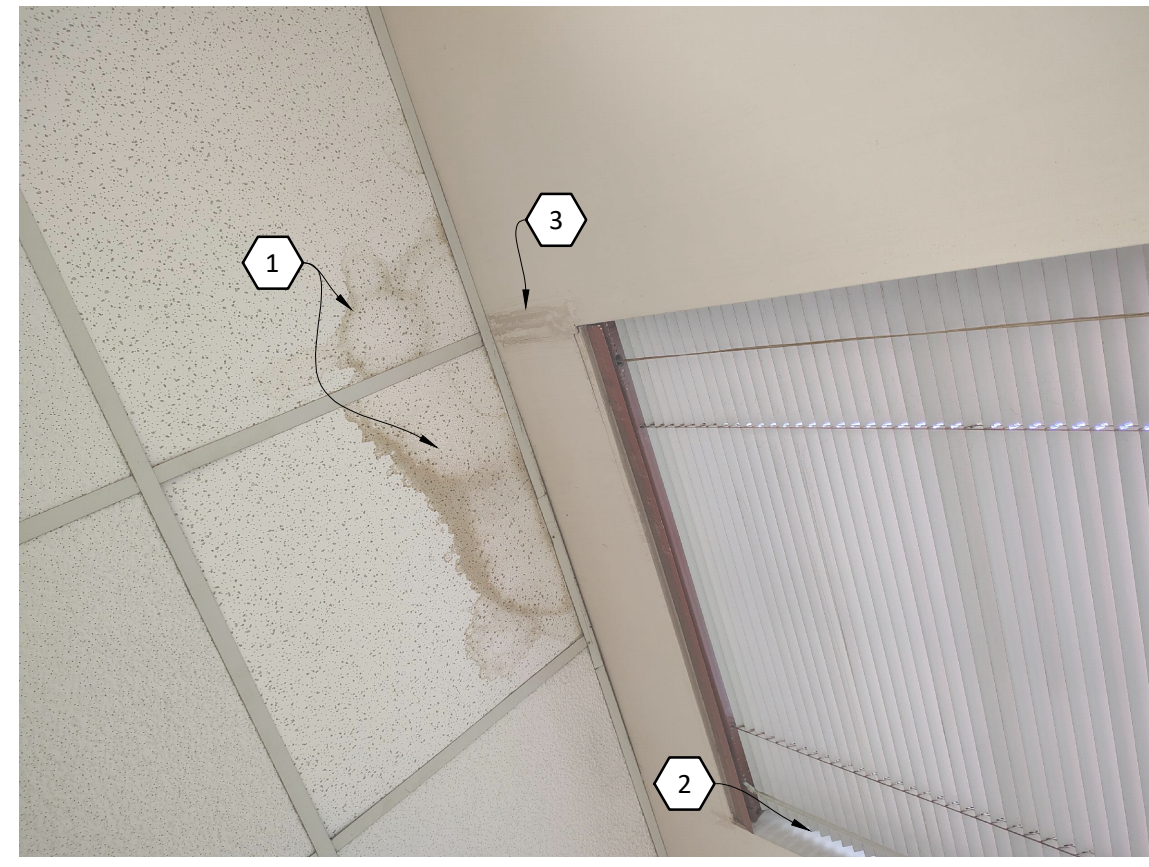
- DURING OFF HOURS, AT NIGHT, WEEKENDS OR HOLIDAYS AS DIRECTED BY THE OWNER. ODOROUS WORK TO BE PERFORMED ON THIS PROJECT REQUIRES 48 HOURS ADVANCE WRITTEN NOTICE TO THE OWNER.
25. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE EXTERIOR OF THE ENGINEERING BUILDING AND ANNEX, AND OTHER ADJACENT STRUCTURES IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. OTHER PORTIONS OF THE PROJECT SITE ARE NOT TO BE DISTURBED SUCH AS PARKING LOTS, LANDSCAPE AREAS AND LAWN AREAS. DO NOT ALLOW TRASH AND CONSTRUCTION DEBRIS TO ACCUMULATE AROUND THE PROJECT SITE.
26. REPAIR ALL DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS. TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE BUILDING AND ITS OCCUPANTS DURING THE WORK.
27. ALL SURFACES SHALL BE THOROUGHLY CLEANED OF ALL DEBRIS AT THE COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
28. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH NEW REQUIRED WORK PRIOR TO COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
29. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE INTERIOR OF THE BUILDING IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. CONFINE WORK TO THE AREAS OF THE PROJECT AND AS ASSOCIATED WITH THE WORK. THE CONTRACTOR SHALL ERECT DUST WALLS TO PROTECT AREAS NOT UNDER CONSTRUCTION FROM DIRT, DUST, AND OTHER CONSTRUCTION DEBRIS. CONTRACTOR SHALL DAILY CLEAN ALL AREAS NOT IN THE CONSTRUCTION AREA THAT BECOME DUSTY AND DIRTY DUE TO CONSTRUCTION ACTIVITIES.
30. PROTECT EXISTING BUILDING COMPONENTS TO REMAIN IN PLACE. DOCUMENT EXISTING CONDITIONS PRIOR TO START OF WORK. ANY DAMAGES OCCURRING DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE AT HIS EXPENSE. REPAIR WORK SHALL BE SUBJECT TO THE APPROVAL OF THE A/E AND THE OWNER.
31. WORK RESTRICTIONS: REFER TO SPECIFICATIONS FOR COMPLIANCE WITH RESTRICTIONS ON CONSTRUCTION OPERATIONS AND HOURS PERMITTED.
32. CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE A/E TEN (10) DAYS AFTER RECEIPT OF NOTICE OF AWARD. CONTRACTOR SHALL SUBMIT A REVISED CONSTRUCTION SCHEDULE AT THE PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL SUBMIT REVISED CONSTRUCTION SCHEDULES TO THE A/E MONTHLY THEREAFTER. THE CONTRACTOR IS ADVISED THAT THE A/E WILL NOT APPROVE ANY PAY APPLICATIONS THAT DO NOT HAVE A REVISED CONSTRUCTION SCHEDULE ATTACHED. ANY PAY APPLICATIONS SUBMITTED WITHOUT A REVISED AND CURRENT CONSTRUCTION SCHEDULE SHALL BE RETURNED TO THE CONTRACTOR WITHOUT ACTION AND SHALL NOT BE GROUNDS FOR A CLAIM FOR ADDITIONAL COST.
33. NO SMOKING: SMOKING IS NOT PERMITTED ANYWHERE ON THE PROJECT SITE; INCLUDING THE CONTRACTOR'S FIELD OFFICE (TRAILER). ANY CONTRACTING PERSONNEL THAT ARE SEEN SMOKING ON THE PROJECT SITE SHALL BE DISMISSED FROM THE PROJECT PERMANENTLY. THIS INCLUDES E-CIGARETTES AND VAPING.
34. THE PLAYING OF MUSIC ON THE JOBSITE IS NOT ALLOWED.
35. DRUGS, ALCOHOL AND FIREARMS ARE NOT ALLOWED ANYWHERE ON THE PROJECT SITE.
36. CONTRACTING PERSONNEL SHALL AT ALL TIMES BE APPROPRIATELY DRESSED. SHIRTS AND SHOES SHALL BE WORN AT ALL TIMES. PANTS SHALL NOT BE WORN BELOW THE WAIST LINE. SHIRTS, HATS OR OTHER CLOTHING SHALL NOT HAVE ANY VULGAR REFERENCES, ALCOHOLIC ADVERTISEMENTS, TOBACCO ADVERTISEMENTS, REFERENCES TO DRUGS OR POLITICAL ENDORSEMENTS OF ANY KIND.
37. ALL CONTRACTING PERSONNEL SHALL CONDUCT THEMSELVES IN A PROFESSIONAL MANNER AT ALL TIMES AND ANY WORKMAN MAKING CAT CALLS OR WOLF WHISTLES SHALL BE IMMEDIATELY ESCORTED OFF THE PROJECT SITE PERMANENTLY. INTERACTION BETWEEN CONTRACTOR'S AND BUILDING'S STAFF IS STRICTLY FORBIDDEN.
38. AT ANY TIME WORK IS IN PROGRESS THE CONTRACTOR SHALL HAVE A FOREMAN OR SUPERINTENDENT ON SITE DIRECTING THE WORK. THE CONTRACTOR'S FOREMAN OR SUPERINTENDENT SHALL CHECK IN DAILY WITH THE OWNER'S ON SITE REPRESENTATIVE AND GIVE THE OWNER'S REPRESENTATIVE HIS MOBILE PHONE NUMBER. THE CONTRACTOR'S FOREMAN OR SUPERINTENDENT SHALL ALSO GIVE A LIST OF NAMES TO THE OWNER'S ON SITE REPRESENTATIVE OF THE CONTRACTING PERSONNEL THAT WILL BE WORKING ON THE SITE THAT DAY.
39. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING FOR THE DURATION OF THE PROJECT. CONSTRUCT AND MAINTAIN FENCING AND BARRICADES SUFFICIENT TO PREVENT INJURY TO PERSONS AND DAMAGE TO PROPERTY IN ACCORDANCE WITH ALL SAFETY LAWS AND REQUIREMENTS. PROVIDE FENCING TO EXCLUDE UNAUTHORIZED VISITORS FROM THE STAGING AREA. THE TYPE OF PROTECTION FENCING IS TO BE DETERMINED BY THE CONTRACTOR; HOWEVER, IT IS NOTED THAT PLASTIC MESH FENCING, CAUTION TAPE OR A SINGLE CHAIN ARE NOT ACCEPTABLE.
40. THE A/E WILL NOT MAKE COLOR OR MATERIAL SELECTIONS ON INDIVIDUAL PRODUCTS SUBMITTED FOR REVIEW BUT WILL MAKE ALL COLOR AND MATERIAL SELECTIONS AT ONE TIME AFTER HE HAS RECEIVED ALL ITEMS THAT REQUIRE A COLOR AND MATERIAL SELECTION. SAMPLES THAT REQUIRE A COLOR AND/OR MATERIAL SELECTION SHALL BE SUBMITTED TO THE A/E AS SOON AS POSSIBLE SO THAT HE, TOGETHER WITH THE OWNER, MAY COORDINATE ALL COLORS AND MATERIALS OF THE ENTIRE BUILDING AT ONE TIME. NO EXTRA TIME WILL BE GIVEN TO THE CONTRACTOR FOR DELAYS CAUSED BY HIS OFFICE NOT SUBMITTING COLORS AND MATERIALS TO THE A/E IN A TIMELY MANNER.
41. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR THE CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL OF ANY AND ALL UTILITIES REQUIRED FOR THIS PROJECT INCLUDING BUT NOT LIMITED TO ELECTRIC POWER, WATER, SEWER, DRAINAGE, GAS, TELEPHONE, CABLE TELEVISION, SATELLITE TELEVISION, CLOSED CIRCUIT TELEVISION, INTERNET, AND ANY OTHER UTILITY REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FOR ALL CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL COST AND ANY AND ALL PERMITS AND FEES ASSOCIATED WITH THE CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL OF ANY UTILITY REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR THE CONSTRUCTION, CONNECTION, RELOCATION AND REMOVAL OF ANY ELECTRIC POWER POLES, WATER LINES, SEWER LINES, DRAINAGE LINES, GAS LINES, TELEPHONE POLES, UTILITY POLES, TELEPHONE LINES, CABLE TELEVISION LINES, INTERNET LINES AND ANY OTHER UTILITY REQUIRED FOR THIS PROJECT.
42. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DIRECTLY WITH THE APPROPRIATE UTILITY COMPANIES TO HAVE THE UTILITIES RELOCATED, DISRUPTED AND/OR INSTALLED.
43. CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES OR DEPARTMENTS LISTED BELOW PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THERE ARE ANY OTHER UTILITIES IN THE AREA AND TO CONTACT THE APPROPRIATE UTILITY COMPANY:
 - 43.1. LOUISIANA ONE CALL
 - 43.2. LOCAL ELECTRICAL COMPANY
 - 43.3. LOCAL GAS COMPANY
 - 43.4. LOCAL TELEPHONE COMPANY
 - 43.5. LOCAL WATER DEPARTMENT
 - 43.6. LOCAL DRAINAGE DEPARTMENT
 - 43.7. LOCAL SEWER DEPARTMENT
 - 43.8. CABLE TELEVISION PROVIDER FOR THAT LOCATION
 - 43.9. DEPARTMENT OF PUBLIC WORKS
 - 43.10. PARISH AND/OR CITY ENGINEERING DEPARTMENT
 - 43.11. PARISH AND/OR CAPITAL PROJECTS DEPARTMENT
 - 43.12. DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
 - 43.13. ANY OTHER DEPARTMENT OR UTILITY COMPANY THAT WILL BE ASSOCIATED WITH THIS PROJECT.
44. CONTRACTOR SHALL COORDINATE AND PAY FOR THE DE-ENERGIZING AND RE-ENERGIZING OF POWER LINES FOR CONSTRUCTION PURPOSES AS REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES AND THE LOCAL UTILITY COMPANY.
45. IF AIR CONDITIONING UNITS REQUIRE DISCONNECTION DUE TO PROGRESS OF WORK, CONTRACTOR SHALL ADD NEW REFRIGERANT AND PROPERLY PRESSURIZED THE UNIT TO MANUFACTURER'S RECOMMENDATIONS.
46. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SODDED, FERTILIZED, AND MAINTAINED UNTIL THE GRASS IS ESTABLISHED AT THE CONCLUSION OF CONSTRUCTION.
47. IN ACCORDANCE WITH REQUIREMENTS OF THE LOUISIANA STATE FIRE MARSHAL ALL BLOCKING, WHETHER HIDDEN, CONCEALED OR EXPOSED TO VIEW SHALL BE FIRE RETARDANT TREATED WOOD.
48. ALL WOOD COMPONENTS INSTALLED AS PART OF THIS PROJECT (NAILERS, BLOCKING, ETC.) SHALL BE PRESSURE TREATED AND HAVE AN AWAP UCA4, GROUND CONTACT GENERAL USE RATING UNLESS NOTED OTHERWISE.

49. ALL FASTENERS USED IN INSTALLING ALL WOOD COMPONENTS SHALL BE OF THE TYPE, MATERIAL, AND CORROSION RESISTANCE TO BE COMPATIBLE WITH ALL SUBSTRATES AND WOOD TREATMENTS REQUIRED. FASTENERS SHALL BE OF MATERIALS THAT ARE NOT SUSCEPTIBLE TO A GALVANIC REACTION WITH ANY OF THE NEW OR EXISTING CONSTRUCTION MATERIALS.
50. ALL METAL FLASHING SHALL BE FABRICATED PER THE REQUIREMENTS OF THE METAL ROOF PANELS AND MODIFIED BITUMEN MEMBRANE MANUFACTURERS AND THE 7TH EDITION OF THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. (SMACNA) ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.
51. ALL METAL FLASHING SHALL BE FABRICATED WITH 1/2" HEMMED EDGES.
52. SAFETY PRECAUTIONS AND PROGRAMS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISION OF ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF THE CONTRACT.
53. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON SAFETY OF PERSONS OR PROPERTY OR THEIR PROTECTION FROM DAMAGE, INJURY OR LOSS.
54. THE CONTRACTOR SHALL TAKE PRECAUTIONS FOR SAFETY OF, AND SHALL PROVIDE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO, EMPLOYEES ON THE JOB SITE AND OTHER PERSONS WHO MAY BE AFFECTED.
55. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. INSPECT MATERIALS OR EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.
56. PRICES QUOTED SHALL BE COMPLETE SO AS TO COVER EVERY COST, EXPENSE, FEE OR CHARGE INCURRED BY THE BIDDER IN PERFORMANCE OF THE CONTRACT, INCLUDING ALL FEDERAL, STATE, AND LOCAL TAXES. PRICES QUOTED SHALL INCLUDE ALL TRANSPORTATION, LOADING, UNLOADING, PACKING, CRATING, AND STORAGE CHARGES (AS APPLICABLE), AND SHALL BE FOB TO THE PROJECT SITE IN ORLEANS PARISH, LOUISIANA.
57. IN ACCORDANCE WITH SEWERAGE AND WATER BOARD OF NEW ORLEANS SUPPLEMENTARY CONDITIONS SC-13.07, COMPLY WITH OWNER CORRECTION PERIOD REQUIREMENTS.
58. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL WRITTEN WARRANTIES INCLUDE THIS COMMENCEMENT TIME. ALSO, IN ACCORDANCE WITH LSA-R.S. 9:2774 THE PROVISION OF THIS SECTION SHALL NOT BE SUBJECT TO WAIVER BY CONTRACT.
59. RECORD DRAWINGS AND SPECIFICATIONS SHALL BE PREPARED BY THE CONTRACTOR THROUGHOUT THE COURSE OF THE PROJECT AND SHALL SHOW, IN RED INK, ALL CHANGES TO THE ORIGINAL CONSTRUCTION DOCUMENTS. AT THE COMPLETION OF THE PROJECT ALL RECORD DRAWINGS AND SPECIFICATIONS SHALL BE FINALIZED AND PUT INTO ONE COMPREHENSIVE SET OF DOCUMENTS BY THE CONTRACTOR AND DELIVERED TO THE ARCHITECT AS THE RECORD SET OF DRAWINGS AND SPECIFICATIONS. RECORD DRAWINGS AND SPECIFICATIONS SHALL REFLECT ALL CHANGES MADE BY THE OWNER, CONTRACTOR, ARCHITECT, SUBCONTRACTOR OR ANY OTHER ENTITY INVOLVED WITH THE PROJECT. ALL RECORD DRAWINGS AND SPECIFICATIONS SHALL INCLUDE ANY CHANGE MADE BY ADDENDUM, CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, MINOR CHANGES MADE BY THE ARCHITECT BY WAY OF ARCHITECTS SUPPLEMENTAL INSTRUCTIONS OR WRITTEN LETTER OR ANY CHANGE MADE IN THE FIELD BY THE CONTRACTOR, SUBCONTRACTOR, INSTALLER, SUPPLIER OR ANY OTHER ENTITY INVOLVED WITH THE PROJECT.
60. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
61. ALL SCOPE ITEMS ARE NEW, HOWEVER, THE TERM "NEW" IS NOT USED IN THE DRAWINGS FOR CLARITY. ALL EXISTING CONSTRUCTION IS NOTED AS EXISTING.
62. CONTRACTOR SHALL TAKE PRECAUTIONS AROUND EXISTING CABLE, CAMERAS, AIR INTAKES, CONDUIT AND PIPING. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
63. ALL ROOFING COMPONENTS SHALL COMPLY WITH SPECIFIED PRESSURES AND WIND LOADING REQUIREMENTS INDICATED ON THE DOCUMENTS AND BY IBC 2021 AND ASCE 7. IT IS THE RESPONSIBILITY OF THE METAL ROOF PANEL MANUFACTURER AND MODIFIED BITUMEN MANUFACTURER TO CALCULATE AND DESIGN ALL CONNECTIONS OF THE ROOFING SYSTEM TO THE EXISTING PURLINS OR ROOF DECK.

project no. 25-1130-0046 drawn AFR checked AD date 12.18.2025 revised		Meyer Engineers, Ltd. A Thompson Holdings Company 4937 Hearst Street Suite 1B Metairie, Louisiana 70001 504.885.9892 (o) www.meyer-ei.com		GENERAL NOTES REPAIRS TO THE ENGINEERING BUILDING 8800 S. Claiborne Avenue, New Orleans, LA 70118 CONTRACT: 8174, SWB DWG NO: 12312-W-43	sheet no. G003 3 of 16 sheets
---	---	---	--	---	--



1 PHOTOGRAPH N.T.S.
G004



2 PHOTOGRAPH N.T.S.
G004



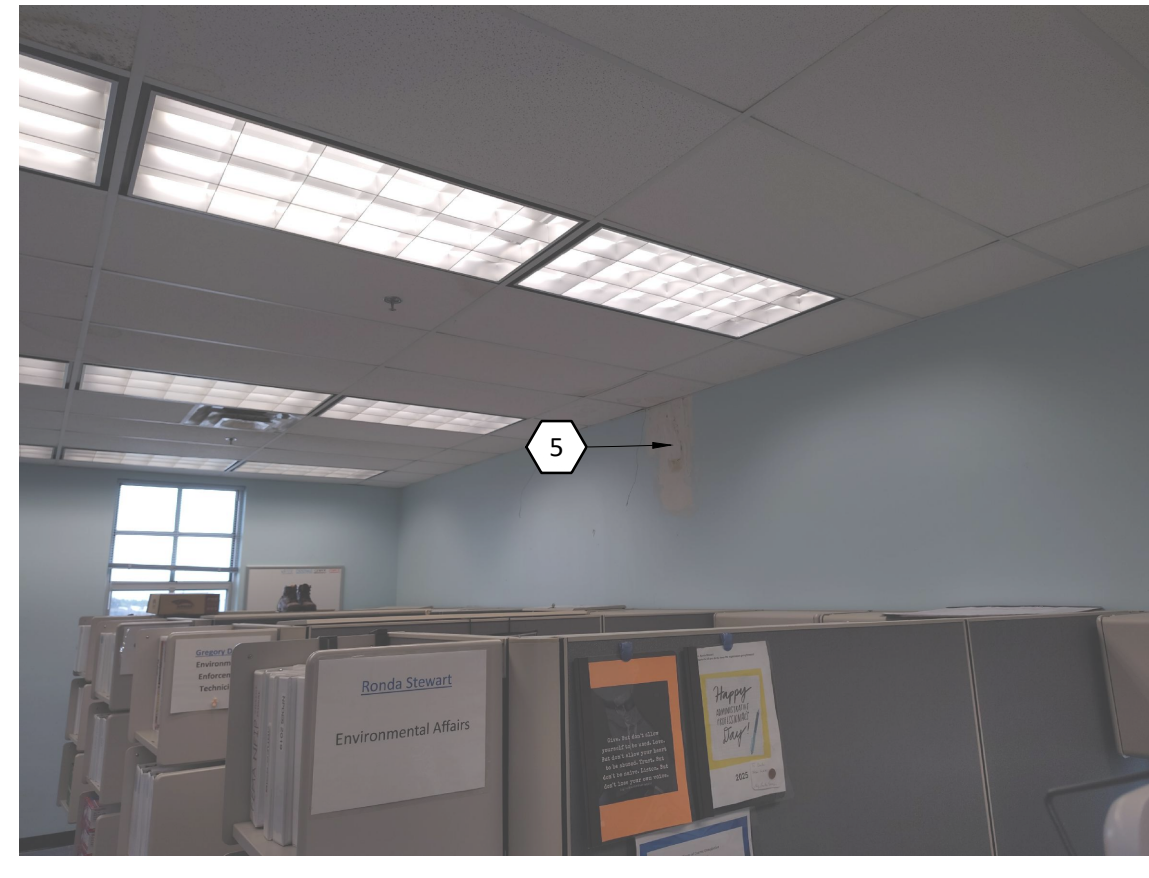
3 PHOTOGRAPH N.T.S.
G004



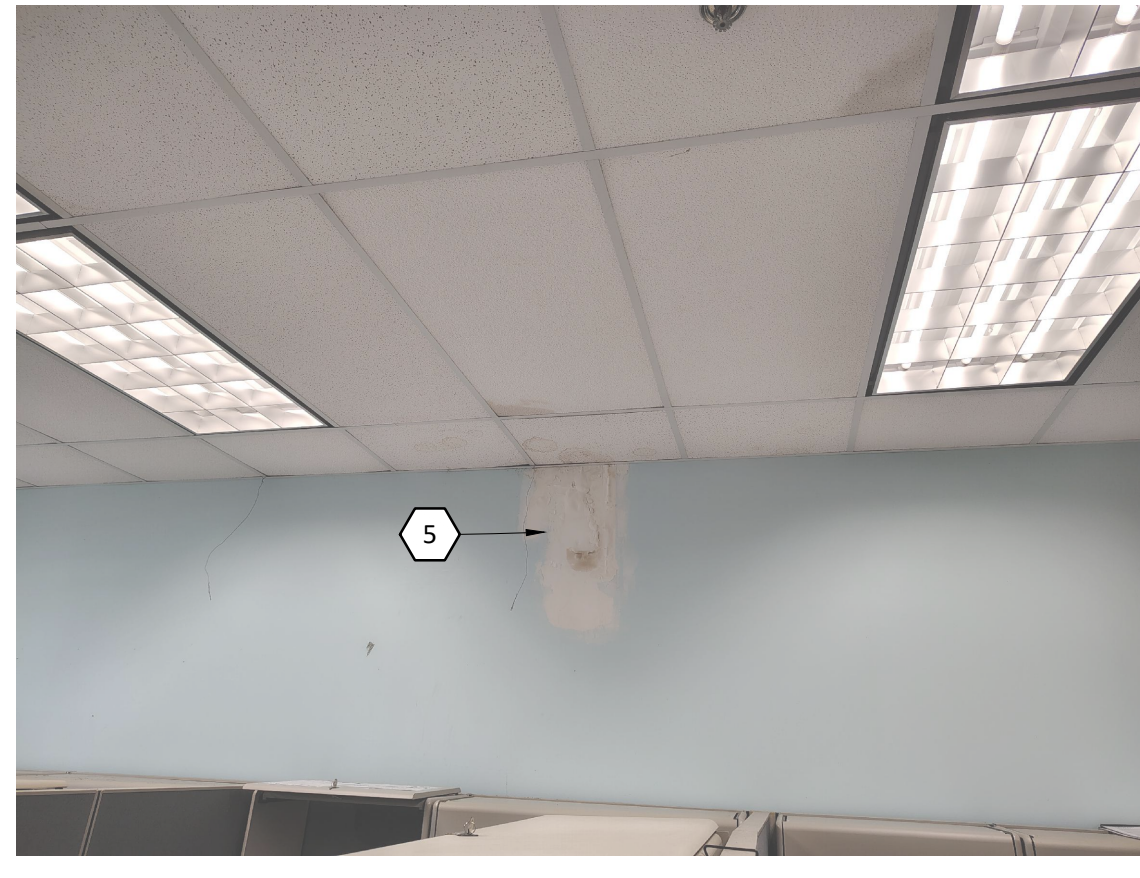
4 PHOTOGRAPH N.T.S.
G004



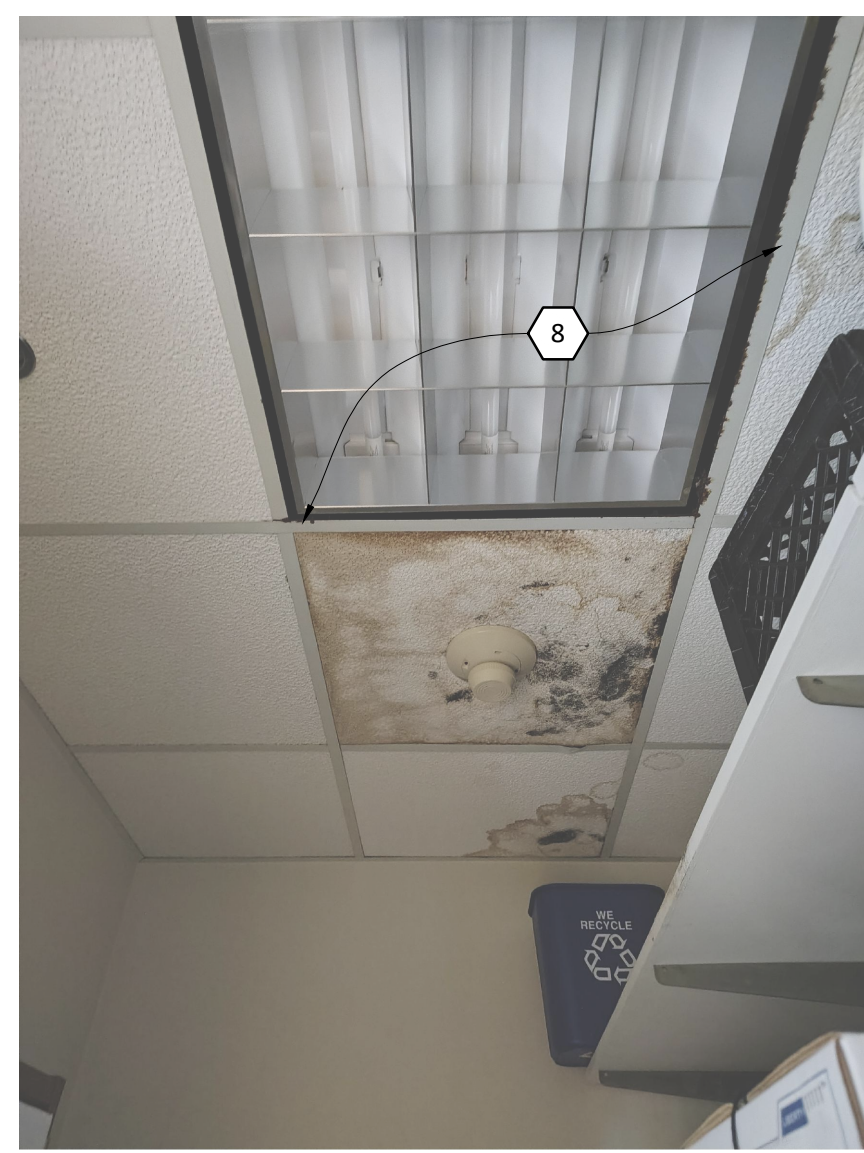
5 PHOTOGRAPH N.T.S.
G004



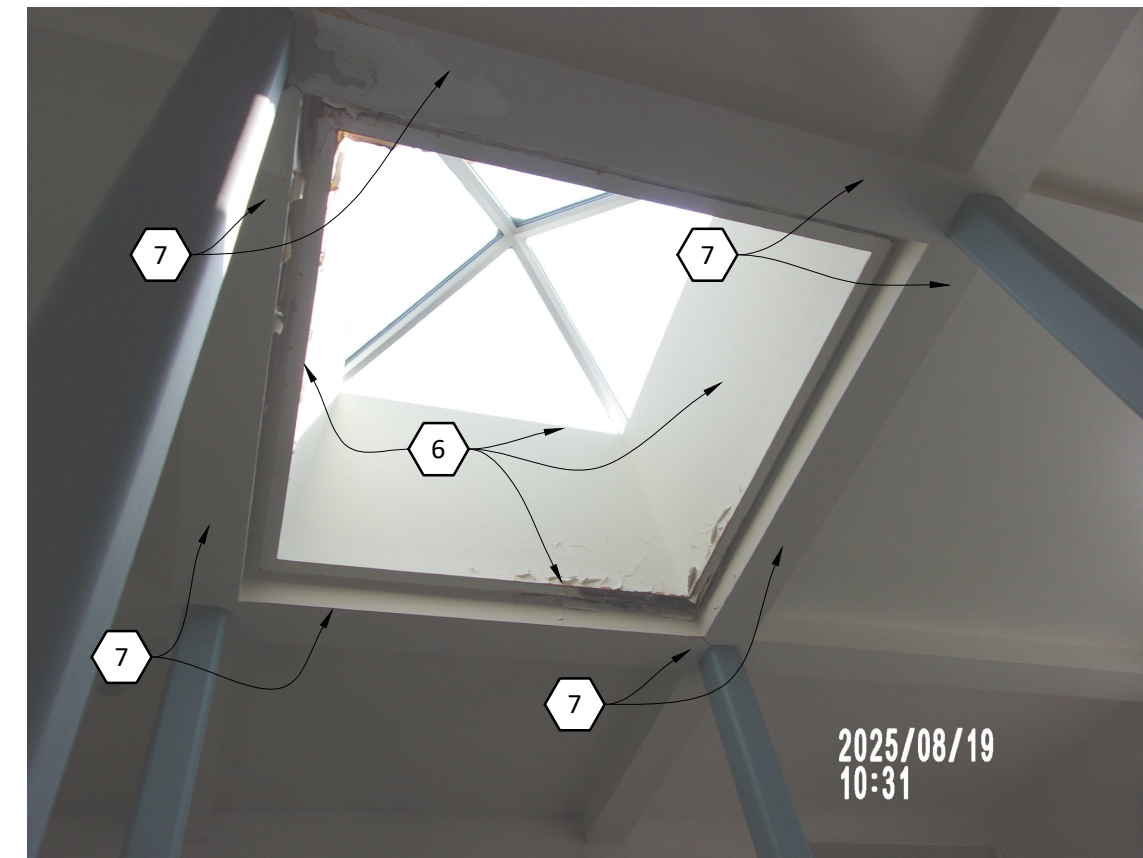
6 PHOTOGRAPH N.T.S.
G004



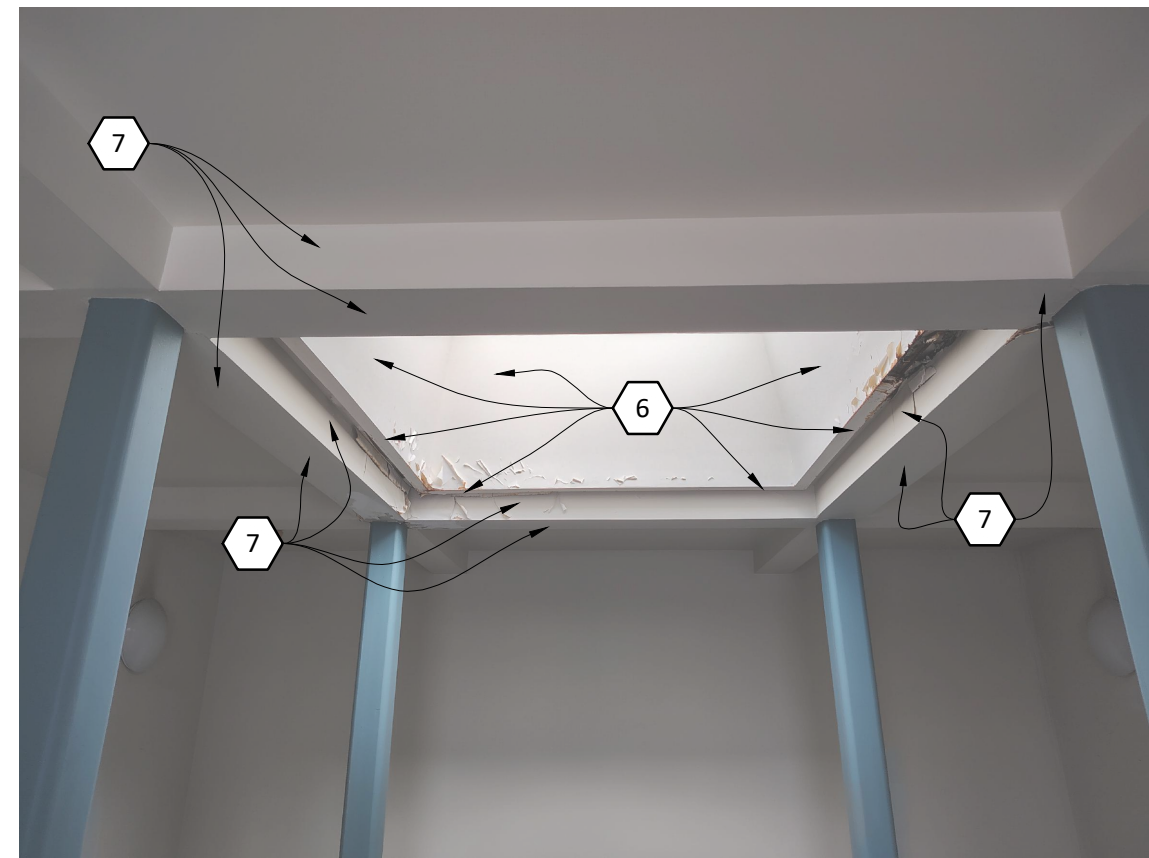
7 PHOTOGRAPH N.T.S.
G004



8 PHOTOGRAPH N.T.S.
G004



9 PHOTOGRAPH N.T.S.
G004



10 PHOTOGRAPH N.T.S.
G004



11 PHOTOGRAPH N.T.S.
G004

GENERAL PHOTOGRAPH NOTES

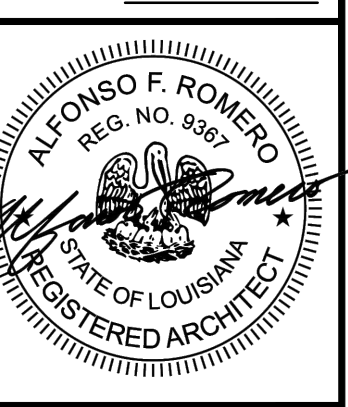
1. THE CONDITIONS CAPTURED AND NOTED IN THE PHOTOGRAPHS ASSEMBLED IN THESE DOCUMENTS REPRESENT EXAMPLES OF EXISTING CONDITIONS. THIS IS ONLY A MEANS TO DEPICT THE TYPE OF CONDITIONS AND THEREFORE WORK THAT IS THE CONTRACTOR'S IN THE SCOPE. THE CONTRACTOR IS RESPONSIBLE TO FULLY SURVEY THE SITE AND BRING ATTENTION TO THE A/E IF THERE ARE CONDITIONS NOT CAPTURED.

KEYNOTES:

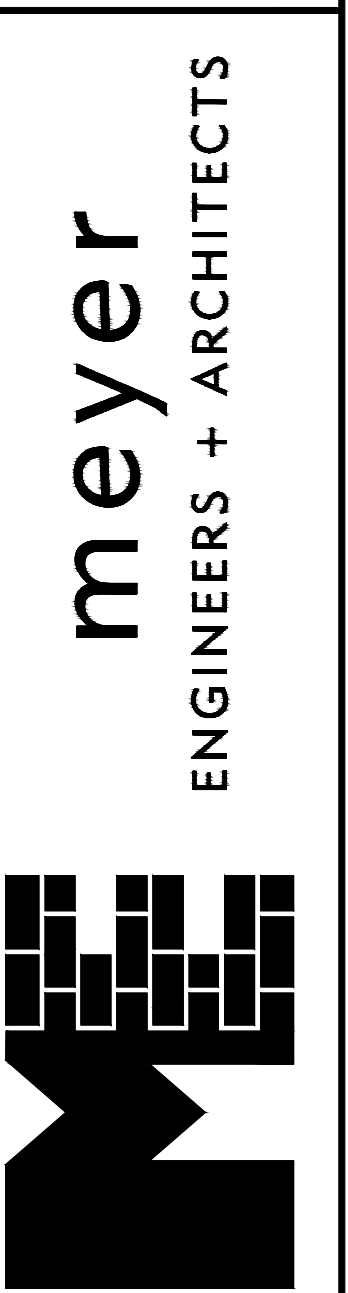
NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET

- 1 REMOVE AND REPLACE DAMAGED ACOUSTICAL CEILING TILES. FIELD VERIFY LOCATIONS. (SQUARE FEET). ACOUSTICAL CEILING SUSPENSION GRID, HVAC, ELECTRICAL, AND SPECIAL SYSTEMS TO REMAIN. PROTECT AS REQUIRED. SEE FLOOR PLANS FOR SCOPE OF WORK.
- 2 REMOVE AND REPLACE PERIMETER WINDOW SURROUND SEALANTS (INTERIOR AND EXTERIOR). WINDOW TO REMAIN. PROTECT AS REQUIRED. SEE FLOOR PLANS FOR SCOPE OF WORK.
- 3 REMOVE AND REPLACE DAMAGED GYPSUM BOARD, WALL INSULATION, AND WALL BASE. FIELD VERIFY LOCATIONS. (SQUARE FEET). PAINT TO MATCH ADJACENT WALLS. SEE FLOOR PLANS FOR SCOPE OF WORK.
- 4 REMOVE AND REPLACE WET GLAZE SEALS (INTERIOR AND EXTERIOR) OF STOREFRONT ENTRY, SIDELITES, AND TRANSOM; PERIMETER SURROUND SEALANTS (INTERIOR AND EXTERIOR); AND HARDWARE (BUTTS, SWEEPS, THRESHOLD, WEATHERSTRIP FELTS, AND CLOSURES). DOOR AND WINDOW SYSTEM TO REMAIN. PROTECT AS REQUIRED. SEE FLOOR PLANS AND ELEVATIONS FOR SCOPE OF WORK.
- 5 REMOVE AND REPLACE DAMAGED GYPSUM BOARD AND WALL INSULATION. FIELD VERIFY LOCATIONS. (SQUARE FEET). PAINT TO MATCH ADJACENT WALLS. REFER TO SHEETS A101 AND A102 FOR SCOPE OF WORK.
- 6 REMOVE AND REPLACE SKYLIGHT INTERIOR GYPSUM BOARD SHAFT SURROUND. (SQUARE FEET). PAINT TO MATCH ADJACENT WALLS. SKYLIGHT TO REMAIN. PROTECT AS REQUIRED. REFER TO SHEETS A102, A302 AND DETAIL 9/G005 FOR ADDITIONAL INFORMATION.
- 7 REMOVE AND REPLACE GYPSUM BOARD BEAM SURROUND. (SQUARE FEET). PAINT TO MATCH ADJACENT WALLS. SEE FLOOR PLANS, ROOF PLAN, AND DETAIL 9/G005 FOR SCOPE OF WORK.
- 8 REMOVE AND REPLACE DAMAGED ACOUSTICAL CEILING SUSPENSION GRID. FIELD VERIFY LOCATIONS. (LINEAR FEET). REFER TO SHEETS A101 AND A102 FOR SCOPE OF WORK.

project no. 25-1130-0046
 drawn CSHB
 checked AD
 date 12.18.2025
 revised



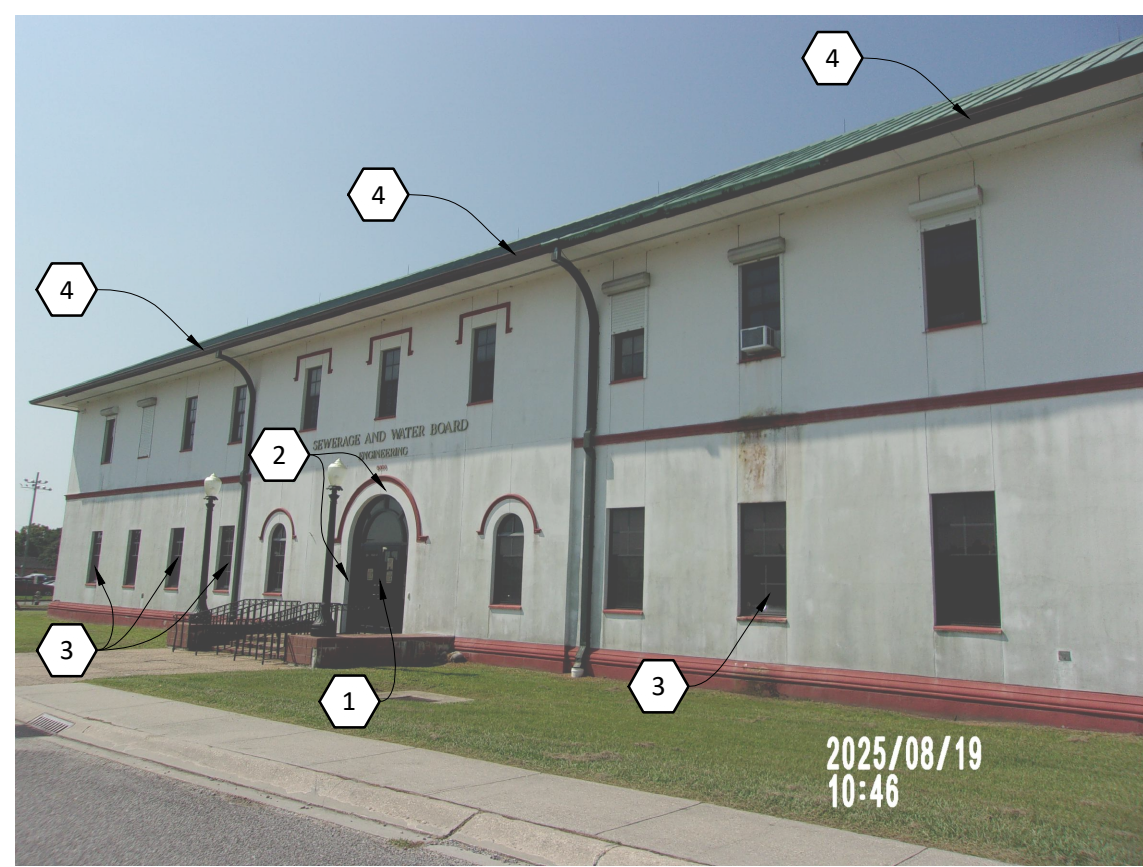
Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com



PHOTOGRAPHS, KEYNOTES
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
G004

4 of 16 sheets



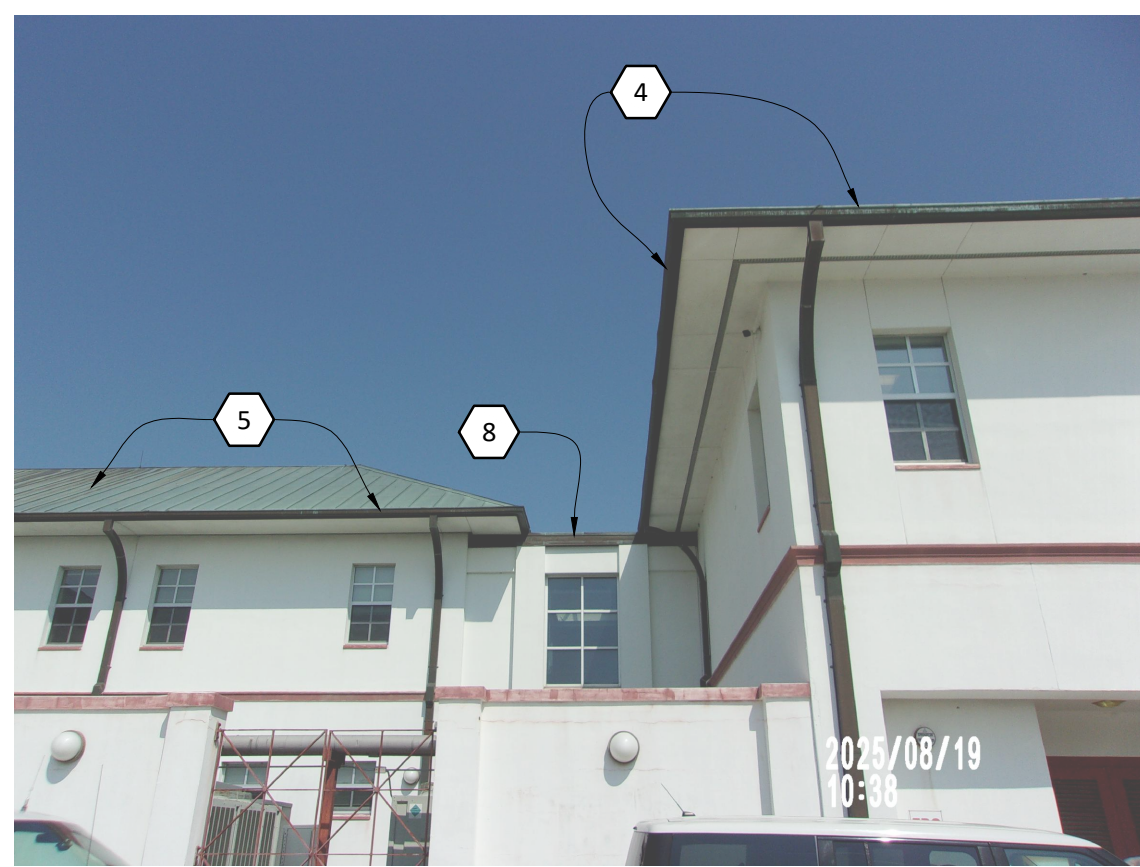
1 PHOTOGRAPH
G005 N.T.S.



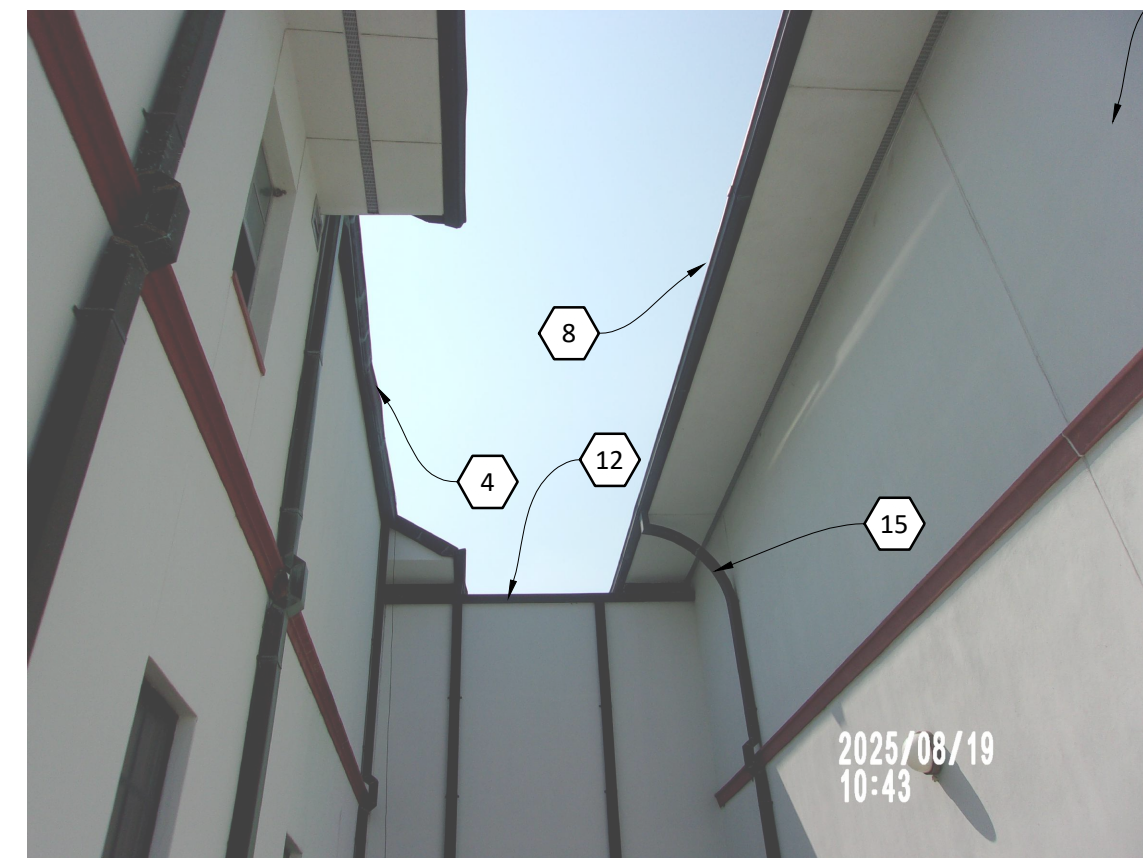
2 PHOTOGRAPH
G005 N.T.S.



3 PHOTOGRAPH
G005 N.T.S.



4 PHOTOGRAPH
G005 N.T.S.



5 PHOTOGRAPH
G005 N.T.S.



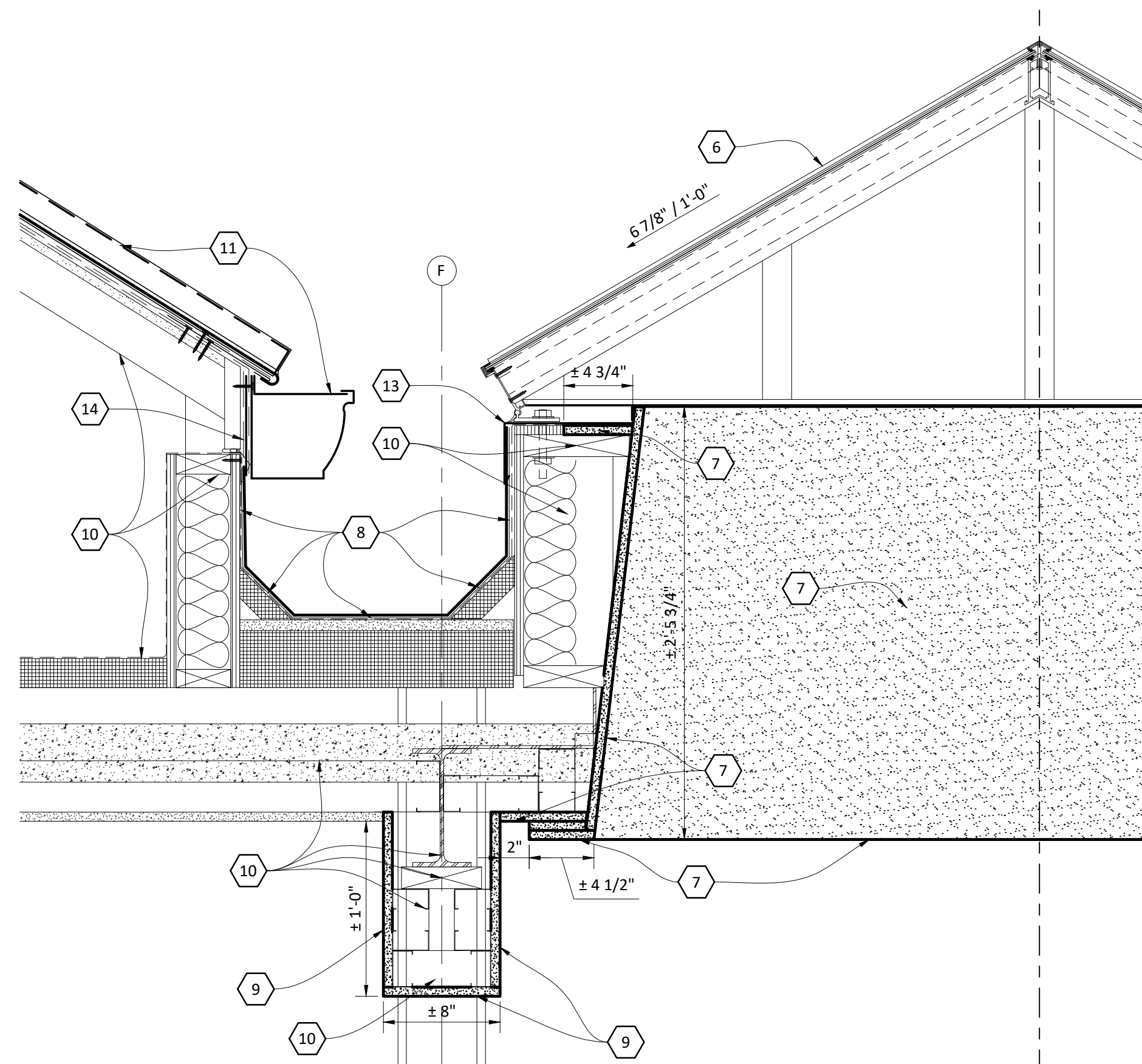
6 PHOTOGRAPH
G005 N.T.S.



7 PHOTOGRAPH
G005 N.T.S.



8 PHOTOGRAPH
G005 N.T.S.



9 SKYLIGHT DETAIL
SCALE: 1-1/2" = 1'-0"

GENERAL PHOTOGRAPH NOTES

1. THE CONDITIONS CAPTURED AND NOTED IN THE PHOTOGRAPHS ASSEMBLED IN THESE DOCUMENTS REPRESENT EXAMPLES OF EXISTING CONDITIONS. THIS IS ONLY A MEANS TO DEPICT THE TYPE OF CONDITIONS AND THEREFORE WORK THAT IS THE CONTRACTOR'S IN THE SCOPE. THE CONTRACTOR IS RESPONSIBLE TO FULLY SURVEY THE SITE AND BRING ATTENTION TO THE A/E IF THERE ARE CONDITIONS NOT CAPTURED.

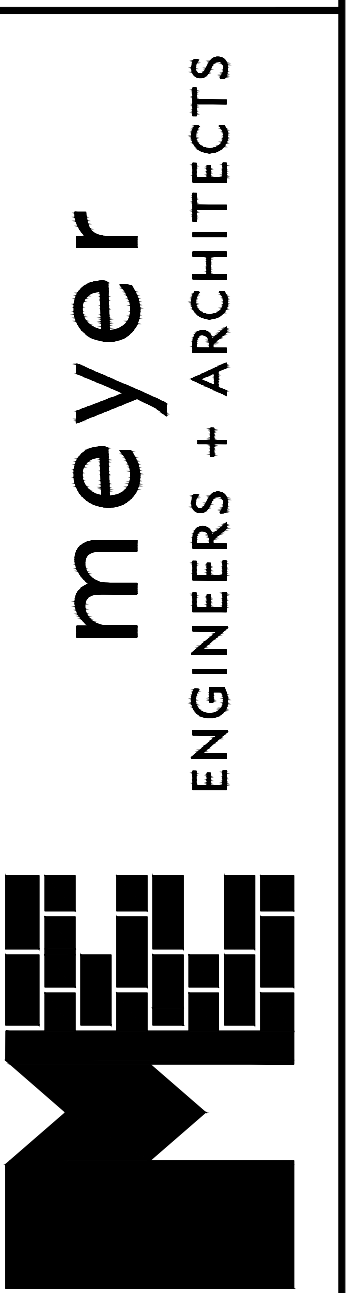
KEYNOTES:

- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- 1 REMOVE AND REPLACE WET GLAZE SEALS (INTERIOR AND EXTERIOR) OF STOREFRONT ENTRY, SIDELITES, AND TRANSOM; PERIMETER SURROUND SEALANT (INTERIOR AND EXTERIOR); AND HARDWARE (BUTTS, SWEEPS, THRESHOLD, WEATHERSTRIP FELTS, AND CLOSURES). DOOR AND WINDOW SYSTEM TO REMAIN. PROTECT AS REQUIRED.
 - 2 REMOVE AND REPLACE DAMAGED PLASTER. (SQUARE FEET). MATCH EXISTING PLASTER TEXTURE. PAINT TO MATCH EXISTING. SEE FLOOR PLAN AND ELEVATIONS FOR SCOPE OF WORK.
 - 3 REMOVE AND REPLACE MISSING WINDOW SCREEN. VERIFY DIMENSION IN FIELD.
 - 4 REMOVE AND REPLACE DAMAGED METAL GUTTER. MATCH EXISTING GUTTER MATERIAL, PROFILE, SIZE, ETC. IN ALL RESPECTS. DOWNSPOUT AND ROOFING FLASHING TO REMAIN. PROTECT AS REQUIRED. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
 - 5 REMOVE AND REPLACE DAMAGED COPPER ROOF SYSTEM, TRIMS, FLASHING, AND GUTTERS. MATCH EXISTING GUTTER PROFILE, SIZE, ETC. IN ALL RESPECTS. DOWNSPOUTS TO REMAIN. PROTECT AS REQUIRED. REFER TO SHEET A302 FOR ADDITIONAL INFORMATION.
 - 6 EXISTING SKYLIGHT TO REMAIN. REMOVE AND REINSTALL TO ALLOW ROOFING REPAIRS, ROOF COATING SYSTEM, AND FLASHING TO BE APPLIED. CLEAN AND PREP SKYLIGHT ASSEMBLY AND REMOVE AND REPLACE ALL INTERIOR AND EXTERIOR GLAZING SEALANTS. WATER TEST TO VERIFY WATERPROOF CONDITION. REFER TO DETAIL 9/G005 AND SHEET A302 FOR ADDITIONAL INFORMATION.
 - 7 REMOVE AND REPLACE SKYLIGHT INTERIOR GYPSUM BOARD SHAFT SURROUND. (SQUARE FEET). PAINT TO MATCH EXISTING. SKYLIGHT TO REMAIN. PROTECT AS REQUIRED. SEE FLOOR PLANS, ROOF PLAN, AND DETAIL 9/G005 FOR SCOPE OF WORK.
 - 8 PATCH AND REPAIR EXISTING MODIFIED BITUMEN ROOFING SYSTEM, TRIMS, FLASHING, ETC. TO RECEIVE NEW LIQUID APPLIED ROOF COATING. REFER TO SHEET A302 FOR ADDITIONAL INFORMATION.
 - 9 REMOVE AND REPLACE GYPSUM BOARD BEAM SURROUND. (SQUARE FEET). PAINT TO MATCH EXISTING. SEE FLOOR PLAN FOR SCOPE OF WORK.
 - 10 EXISTING BUILDING CONSTRUCTION TO REMAIN. (TYPICAL) PROTECT AS REQUIRED.
 - 11 REMOVE EXISTING COPPER ROOFING PANEL SYSTEM, FLASHING, TRIMS, GUTTER, ETC. TO PLYWOOD DECKING BELOW. MATCH GUTTER PROFILE AND SIZE IN ALL RESPECTS. DOWNSPOUTS TO REMAIN. PROTECT AS REQUIRED. PATCH AND REPAIR PLYWOOD DECKING AS REQUIRED TO RECEIVE NEW STANDING SEAM METAL ROOFING SYSTEM. SEE ROOF PLAN FOR SCOPE OF WORK.
 - 12 EXISTING GUTTER TO REMAIN.
 - 13 REMOVE AND REPLACE EXISTING SILL FLASHING WITH NEW CONT. STAINLESS-STEEL FLASHING AT PERIMETER OF SKYLIGHT OPENING. PRIME UNDERSIDE AND SET IN BED OF MASTIC.
 - 14 APPLY NEW LIQUID APPLIED ROOF COATING UP WALL AND UNDER GUTTER. EXTEND COATING UP TO GUTTER AT OPPOSITE SIDE OF ROOF (EXISTING CONSTRUCTION TO REMAIN)
 - 15 EXISTING COPPER DOWNSPOUT TO REMAIN. CAREFULLY TRIM AWAY FROM GUTTER TO BE REMOVED AND REATTACH TO NEW CONSTRUCTION. REFER TO SHEET A302 FOR ADDITIONAL INFORMATION.

project no. 25-1130-0046
drawn CSHB
checked AD
date 12.18.2025
revised

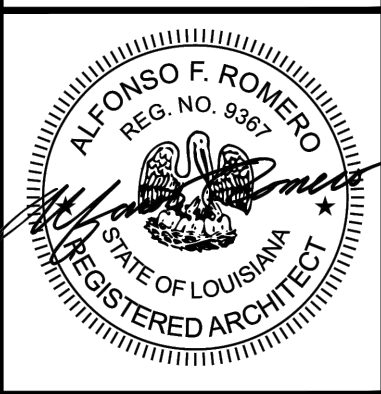


Meyer Engineers, Ltd.
A Thompson Holdings Company
4937 Hearst Street Suite 1B
Metairie, Louisiana 70001
504.885.9892 (o)
www.meyer-ei.com



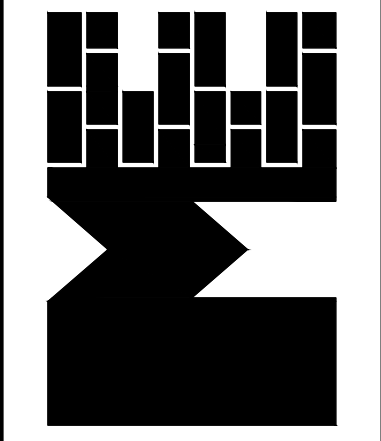
PHOTOGRAPHS, KEYNOTES, DETAILS
REPAIRS TO THE ENGINEERING BUILDING
8800 S. Claiborne Avenue, New Orleans, LA 70118
CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
G005
5 of 16 sheets



Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-e.com

meyer
 ENGINEERS + ARCHITECTS



DEMO/ REMEDIAL FIRST FLOOR PLAN
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43



LEGEND

- EXISTING - NO WORK THIS SPACE
- AREA TO RECEIVE WORK. SEE CONSTRUCTION DOCUMENTS.

1 DEMO/ REMEDIAL FIRST FLOOR
 SCALE: 1/8" = 1'-0"

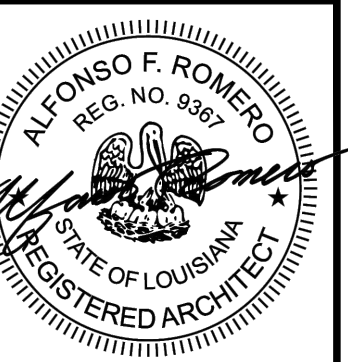
GENERAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH ALL ASPECTS OF THE WORK OUTLINED IN THESE BIDDING AND CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE A/E.
2. EXISTING CONDITIONS INDICATED ON THE DRAWINGS AND PHOTOGRAPHS ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND LIMITED FIELD MEASUREMENTS AND OBSERVATIONS. CONDITIONS SHOWN IN PHOTOGRAPHS ARE ONLY SELECT EXAMPLES OF EXISTING CONDITIONS AND ARE FOR REFERENCE ONLY. PHOTOGRAPHS ARE NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD AND JOB CONDITIONS PRIOR TO PREPARING THEIR BID. ANY CONDITIONS NOT ACCURATELY DESCRIBED IN THE DRAWINGS, PHOTOGRAPHS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E PRIOR TO BID DATE. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR THE CONDITION SHOULD HE BE AWARDED THE CONTRACT.
3. ALTHOUGH THE DRAWINGS ARE DRAWN TO A SCALE, THE CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE A DIMENSION. THESE DOCUMENTS HAVE BEEN PREPARED FROM LIMITED FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO SUBMITTING A BID. IF A DIMENSION IS NOT WRITTEN AND IS NOT APPARENT, THE CONTRACTOR SHALL NOTIFY THE A/E DURING THE BIDDING PHASE. FAILURE TO VERIFY THE EXISTING CONDITIONS ARE NOT GROUNDS FOR ADDITIONAL COST TO THE CONTRACTOR.
4. CONTRACTOR SHALL AT ALL TIMES CONDUCT THEIR OPERATIONS AS TO ENSURE THE LEAST

- INCONVENIENCE TO THE OWNER, GENERAL PUBLIC, AND ADJACENT PROPERTY OWNERS.
5. ALL SURFACES SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
 6. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH NEW REQUIRED WORK PRIOR TO COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
 7. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE INTERIOR OF THE BUILDING IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. CONFINE WORK IN THE BUILDING TO THE AREAS OF THE PROJECT AND AS ASSOCIATED WITH THE WORK. THE CONTRACTOR SHALL ERECT DUST WALLS TO PROTECT AREAS NOT UNDER CONSTRUCTION FROM DIRT, DUST, AND OTHER CONSTRUCTION DEBRIS. CONTRACTOR SHALL DAILY CLEAN ALL AREAS NOT IN CONSTRUCTION AREA THAT BECOME DUSTY AND DIRTY DUE TO CONSTRUCTION ACTIVITIES.
 8. CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION 48 HOURS PRIOR TO DISRUPTION OF UTILITY SERVICES. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.
 9. THE CONTRACTOR SHALL BE AWARE THAT THE BUILDING WILL BE OCCUPIED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL TAKE ALL NECESSARY STEPS TO KEEP THE BUILDING AND SITE CLEAN AND WATERTIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REPAIRING ANY DAMAGED WORK DUE TO STORM WATER INTRUSION.

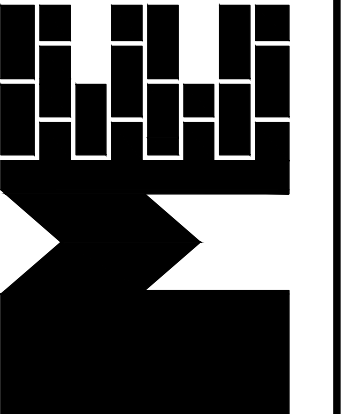
DEMOLITION/ REMEDIAL KEYNOTES:

- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- ① REMOVE AND REPLACE DAMAGED ACOUSTICAL CEILING TILES. FIELD VERIFY LOCATIONS. (SQUARE FEET). ACOUSTICAL CEILING SUSPENSION GRID, HVAC, ELECTRICAL, AND SPECIAL SYSTEMS TO REMAIN. PROTECT AS REQUIRED.
 - ② REMOVE AND REPLACE PERIMETER WINDOW SURROUND SEALANT (INTERIOR AND EXTERIOR). WINDOW TO REMAIN. PROTECT AS REQUIRED.
 - ③ REMOVE AND REPLACE DAMAGED GYPSUM BOARD, WALL INSULATION, AND WALL BASE. FIELD VERIFY LOCATIONS. (SQUARE FEET). PAINT TO MATCH EXISTING.
 - ④ REMOVE AND REPLACE WET GLAZE SEALS (INTERIOR AND EXTERIOR) OF STOREFRONT ENTRY, SIDELITES, AND TRANSOM; PERIMETER SURROUND SEALANT (INTERIOR AND EXTERIOR); AND HARDWARE (BUTTS, SWEEPS, THRESHOLD, WEATHERSTRIP FELTS, AND CLOSERS). DOOR AND WINDOW SYSTEM TO REMAIN. PROTECT AS REQUIRED.
 - ⑤ NOT USED THIS SHEET.
 - ⑥ NOT USED THIS SHEET.
 - ⑦ NOT USED THIS SHEET.
 - ⑧ REMOVE AND REPLACE DAMAGED PLASTER. (SQUARE FEET). MATCH EXISTING PLASTER TEXTURE. PAINT TO MATCH EXISTING.
 - ⑨ REMOVE AND REPLACE MISSING WINDOW SCREEN. VERIFY DIMENSION IN FIELD.
 - ⑩ NOT USED THIS SHEET.

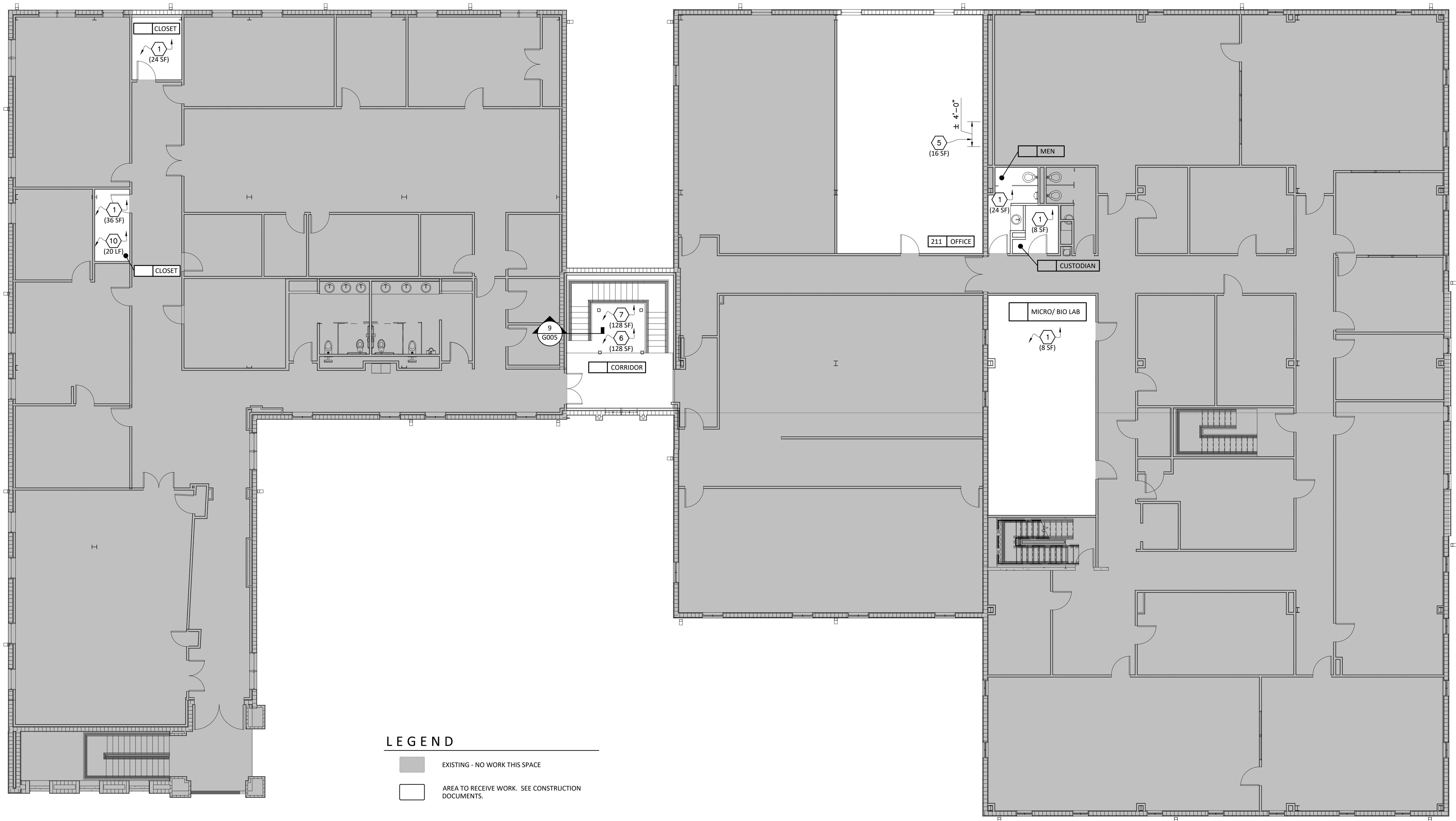


Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com

meyer
 ENGINEERS + ARCHITECTS



DEMO/ REMEDIAL SECOND FLOOR PLAN
REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43



LEGEND

- EXISTING - NO WORK THIS SPACE
- AREA TO RECEIVE WORK. SEE CONSTRUCTION DOCUMENTS.

1 DEMO/ REMEDIAL SECOND FLOOR
 SCALE: 1/8" = 1'-0"

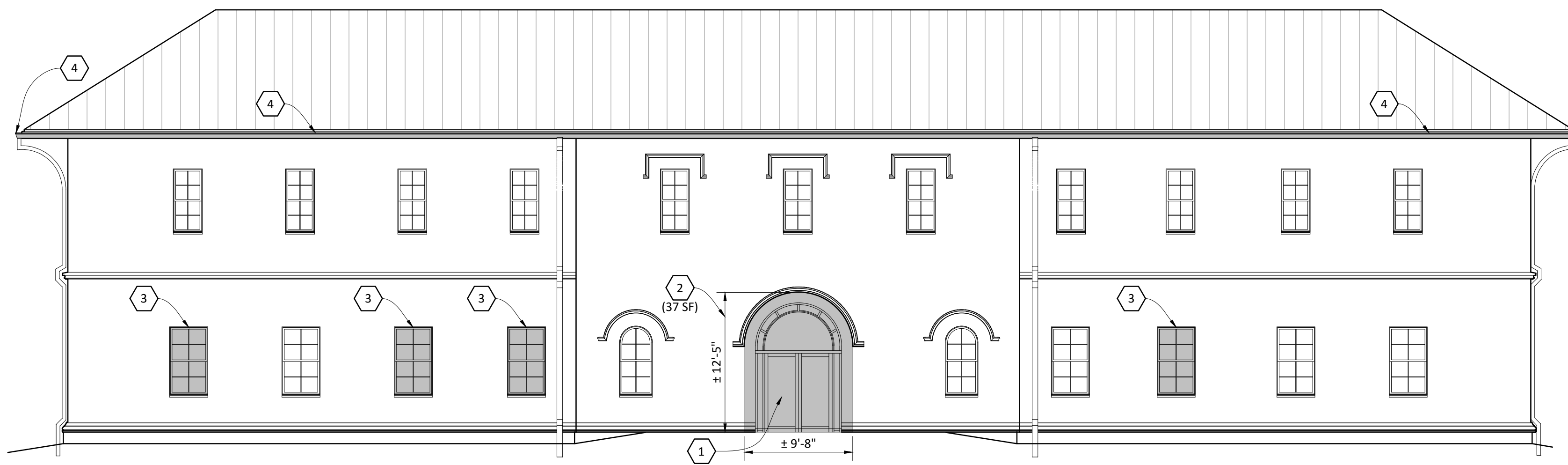
GENERAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH ALL ASPECTS OF THE WORK OUTLINED IN THESE BIDDING AND CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE A/E.
2. EXISTING CONDITIONS INDICATED ON THE DRAWINGS AND PHOTOGRAPHS ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND LIMITED FIELD MEASUREMENTS AND OBSERVATIONS. CONDITIONS SHOWN IN PHOTOGRAPHS ARE ONLY SELECT EXAMPLES OF EXISTING CONDITIONS AND ARE FOR REFERENCE ONLY. PHOTOGRAPHS ARE NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD AND JOB CONDITIONS PRIOR TO PREPARING THEIR BID. ANY CONDITIONS NOT ACCURATELY DESCRIBED IN THE DRAWINGS, PHOTOGRAPHS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E PRIOR TO BID DATE. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR THE CONDITION SHOULD HE BE AWARDED THE CONTRACT.
3. ALTHOUGH THE DRAWINGS ARE DRAWN TO A SCALE, THE CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE A DIMENSION. THESE DOCUMENTS HAVE BEEN PREPARED FROM LIMITED FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO SUBMITTING A BID. IF A DIMENSION IS NOT WRITTEN AND IS NOT APPARENT, THE CONTRACTOR SHALL NOTIFY THE A/E DURING THE BIDDING PHASE. FAILURE TO VERIFY THE EXISTING CONDITIONS ARE NOT GROUNDS FOR ADDITIONAL COST TO THE CONTRACTOR.
4. CONTRACTOR SHALL AT ALL TIMES CONDUCT THEIR OPERATIONS AS TO ENSURE THE LEAST

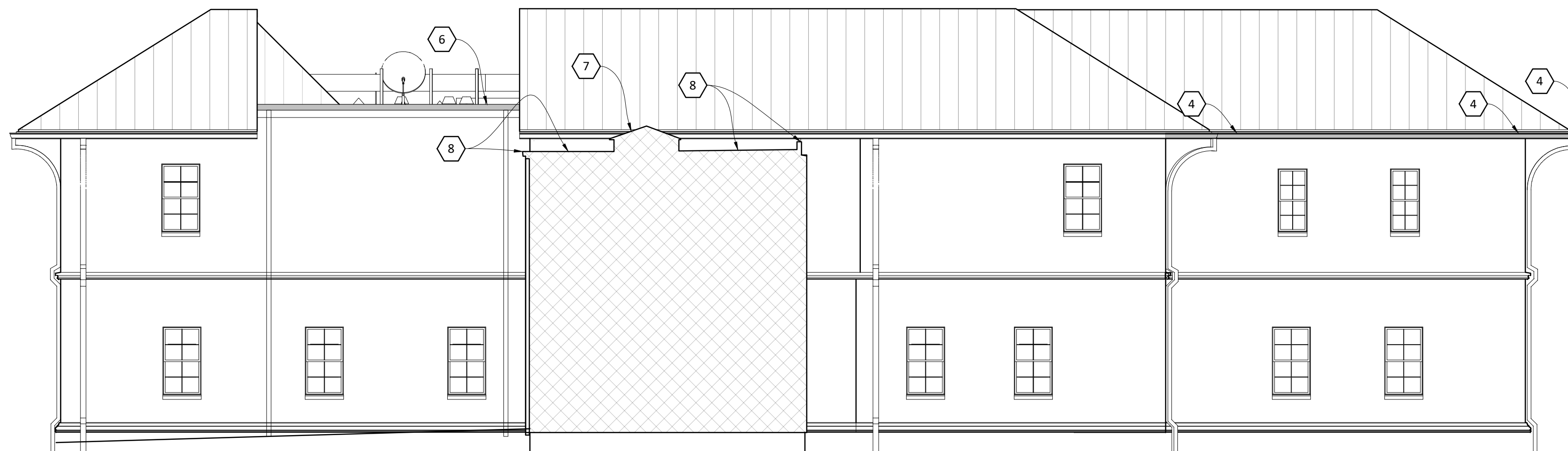
- INCONVENIENCE TO THE OWNER, GENERAL PUBLIC, AND ADJACENT PROPERTY OWNERS.
5. ALL SURFACES SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
 6. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH NEW REQUIRED WORK PRIOR TO COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
 7. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE INTERIOR OF THE BUILDING IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. CONFINE WORK IN THE BUILDING TO THE AREAS OF THE PROJECT AND AS ASSOCIATED WITH THE WORK. THE CONTRACTOR SHALL ERECT DUST WALLS TO PROTECT AREAS NOT UNDER CONSTRUCTION FROM DIRT, DUST, AND OTHER CONSTRUCTION DEBRIS. CONTRACTOR SHALL DAILY CLEAN ALL AREAS NOT IN CONSTRUCTION AREA THAT BECOME DUSTY AND DIRTY DUE TO CONSTRUCTION ACTIVITIES.
 8. CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION 48 HOURS PRIOR TO DISRUPTION OF UTILITY SERVICES. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.
 9. THE CONTRACTOR SHALL BE AWARE THAT THE BUILDING WILL BE OCCUPIED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL TAKE ALL NECESSARY STEPS TO KEEP THE BUILDING AND SITE CLEAN AND WATERTIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REPAIRING ANY DAMAGED WORK DUE TO STORM WATER INTRUSION.

DEMOLITION/ REMEDIAL KEYNOTES:

- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- | | |
|---|--|
| <ol style="list-style-type: none"> 1 REMOVE AND REPLACE DAMAGED ACOUSTICAL CEILING TILES. FIELD VERIFY LOCATIONS. (SQUARE FEET). ACOUSTICAL CEILING SUSPENSION GRID, HVAC, ELECTRICAL, AND SPECIAL SYSTEMS TO REMAIN. PROTECT AS REQUIRED. 2 NOT USED THIS SHEET. 3 NOT USED THIS SHEET. 4 NOT USED THIS SHEET. 5 REMOVE AND REPLACE DAMAGED GYPSUM BOARD AND WALL INSULATION. FIELD VERIFY LOCATIONS. (SQUARE FEET). PAINT TO MATCH EXISTING. 6 REMOVE AND REPLACE SKYLIGHT GYPSUM BOARD INTERIOR SHAFT SURROUND. (SQUARE FEET). PAINT TO MATCH EXISTING. SKYLIGHT TO REMAIN. PROTECT AS REQUIRED. SEE DETAIL 9/G005. 7 REMOVE AND REPLACE GYPSUM BOARD BEAM SURROUND. (SQUARE FEET). PAINT TO MATCH EXISTING. SEE DETAIL 9/G005. 8 NOT USED THIS SHEET. | <ol style="list-style-type: none"> 9 NOT USED THIS SHEET. 10 REMOVE AND REPLACE DAMAGED ACOUSTICAL CEILING SUSPENSION GRID. FIELD VERIFY LOCATIONS. (LINEAR FEET). |
|---|--|



1 DEMO/REMEDIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMO/REMEDIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO/REMEDIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND

- AREA TO RECEIVE WORK. SEE CONSTRUCTION DOCUMENTS.
- EXISTING - NO WORK THIS SPACE

GENERAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH ALL ASPECTS OF THE WORK OUTLINED IN THESE BIDDING AND CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE A/E.
2. EXISTING CONDITIONS INDICATED ON THE DRAWINGS AND PHOTOGRAPHS ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND LIMITED FIELD MEASUREMENTS AND OBSERVATIONS. CONDITIONS SHOWN IN PHOTOGRAPHS ARE ONLY SELECT EXAMPLES OF EXISTING CONDITIONS AND ARE FOR REFERENCE ONLY. PHOTOGRAPHS ARE NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD AND JOB CONDITIONS PRIOR TO PREPARING THEIR BID. ANY CONDITIONS NOT ACCURATELY DESCRIBED IN THE DRAWINGS, PHOTOGRAPHS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E PRIOR TO BID DATE. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR THE CONDITION SHOULD HE BE AWARDED THE CONTRACT.
3. ALTHOUGH THE DRAWINGS ARE DRAWN TO A SCALE, THE CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE A DIMENSION. THESE DOCUMENTS HAVE BEEN PREPARED FROM LIMITED FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO SUBMITTING A BID. IF A DIMENSION IS NOT WRITTEN AND IS NOT APPARENT, THE CONTRACTOR SHALL NOTIFY THE A/E DURING THE BIDDING PHASE. FAILURE TO VERIFY THE EXISTING CONDITIONS ARE NOT GROUNDS FOR ADDITIONAL COST TO THE CONTRACTOR.
4. CONTRACTOR SHALL AT ALL TIMES CONDUCT THEIR OPERATIONS AS TO ENSURE THE LEAST INCONVENIENCE TO THE OWNER, GENERAL PUBLIC, AND ADJACENT PROPERTY OWNERS.
5. ALL SURFACES SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
6. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH NEW REQUIRED WORK PRIOR TO COMPLETION OF THE DEMOLITION PHASE OF THE PROJECT.
7. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE INTERIOR OF THE BUILDING IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. CONFINE WORK IN THE BUILDING TO THE AREAS OF THE PROJECT AND AS ASSOCIATED WITH THE WORK. THE CONTRACTOR SHALL ERECT DUST WALLS TO PROTECT AREAS NOT UNDER CONSTRUCTION FROM DIRT, DUST, AND OTHER CONSTRUCTION DEBRIS. CONTRACTOR SHALL DAILY CLEAN ALL AREAS NOT IN CONSTRUCTION AREA THAT BECOME DUSTY AND DIRTY DUE TO CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION 48 HOURS PRIOR TO DISRUPTION OF UTILITY SERVICES. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.
9. THE CONTRACTOR SHALL TO BE AWARE THAT THE BUILDING WILL BE OCCUPIED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL TAKE ALL NECESSARY STEPS TO KEEP THE BUILDING AND SITE CLEAN AND WATERTIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REPAIRING ANY DAMAGED WORK DUE TO STORM WATER INTRUSION.

DEMOLITION/REMEDIAL KEYNOTES:

NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET

1. REMOVE AND REPLACE WET GLAZE SEALS (INTERIOR AND EXTERIOR) OF STOREFRONT ENTRY, SIDELITES, AND TRANSOM; PERIMETER SURROUND SEALANTS (INTERIOR AND EXTERIOR); AND HARDWARE (BUTTS, SWEEPS, THRESHOLD, WEATHERSTRIP FELTS, AND CLOSERS). DOOR AND WINDOW SYSTEM TO REMAIN. PROTECT AS REQUIRED.
2. REMOVE AND REPLACE DAMAGED PLASTER. (SQUARE FEET). MATCH EXISTING PLASTER TEXTURE. PAINT TO MATCH EXISTING.
3. REMOVE AND REPLACE MISSING WINDOW SCREEN. VERIFY DIMENSION IN FIELD.
4. REMOVE AND REPLACE DAMAGED METAL GUTTER. MATCH EXISTING GUTTER MATERIAL, PROFILE, SIZE, ETC. IN ALL RESPECTS. DOWNSPOUT AND ROOFING FLASHING TO REMAIN. PROTECT AS REQUIRED. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
5. REMOVE AND REPLACE DAMAGED COPPER STANDING SEAM METAL ROOF SYSTEM WITH PRE-FINISHED METAL STANDING SEAM ROOF SYSTEM INCLUDING ALL TRIMS, FLASHINGS, ACCESSORIES, AND GUTTERS. MATCH EXISTING GUTTER PROFILE, SIZE, ETC. IN ALL RESPECTS. DOWNSPOUTS TO REMAIN. PROTECT AS REQUIRED. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
6. REMOVE AND REPLACE DAMAGED ASPHALTIC GRAVEL ROOF SYSTEM AND METAL GUTTER. MATCH EXISTING GUTTER PROFILE, SIZE, ETC. IN ALL RESPECTS. DOWNSPOUTS TO REMAIN. PROTECT AS REQUIRED. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
7. EXISTING SKYLIGHT TO REMAIN. REMOVE AND REINSTALL TO ALLOW REPAIR WORK OF EXISTING ROOFING SYSTEM AND APPLICATION OF NEW ROOF COATING. REMOVE ALL GLAZING SEALANTS, CLEAN AND PREP TO RECEIVE NEW MATERIAL. WATER TEST TO VERIFY WATERPROOF CONDITION. SEE ROOF PLAN AND DETAIL 9/G005 FOR ASSOCIATED WORK.
8. EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY TO REMAIN IN PLACE. PATCH AND REPAIR TO RECEIVE NEW COLD APPLIED MEMBRANE ROOFING SYSTEM. REMOVE AND REPLACE COPPER COPING CAP WITH LIKE KIND. GUTTER AND DOWNSPOUTS TO REMAIN. PROTECT AS REQUIRED.

project no. 25-1130-0046

drawn CSHB

checked AD

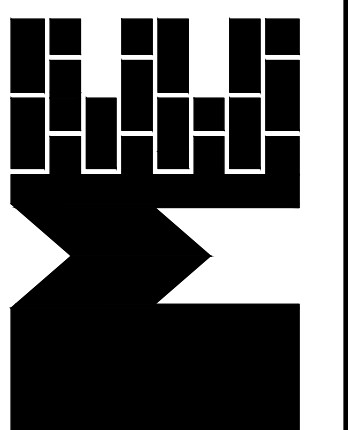
date 12.18.2025

revised



Meyer Engineers, Ltd.
A Thompson Holdings Company
4937 Hearst Street | Suite 1B
Metairie, Louisiana 70001
504.885.9892 (o)
www.meyer-e.com

meyer
ENGINEERS + ARCHITECTS

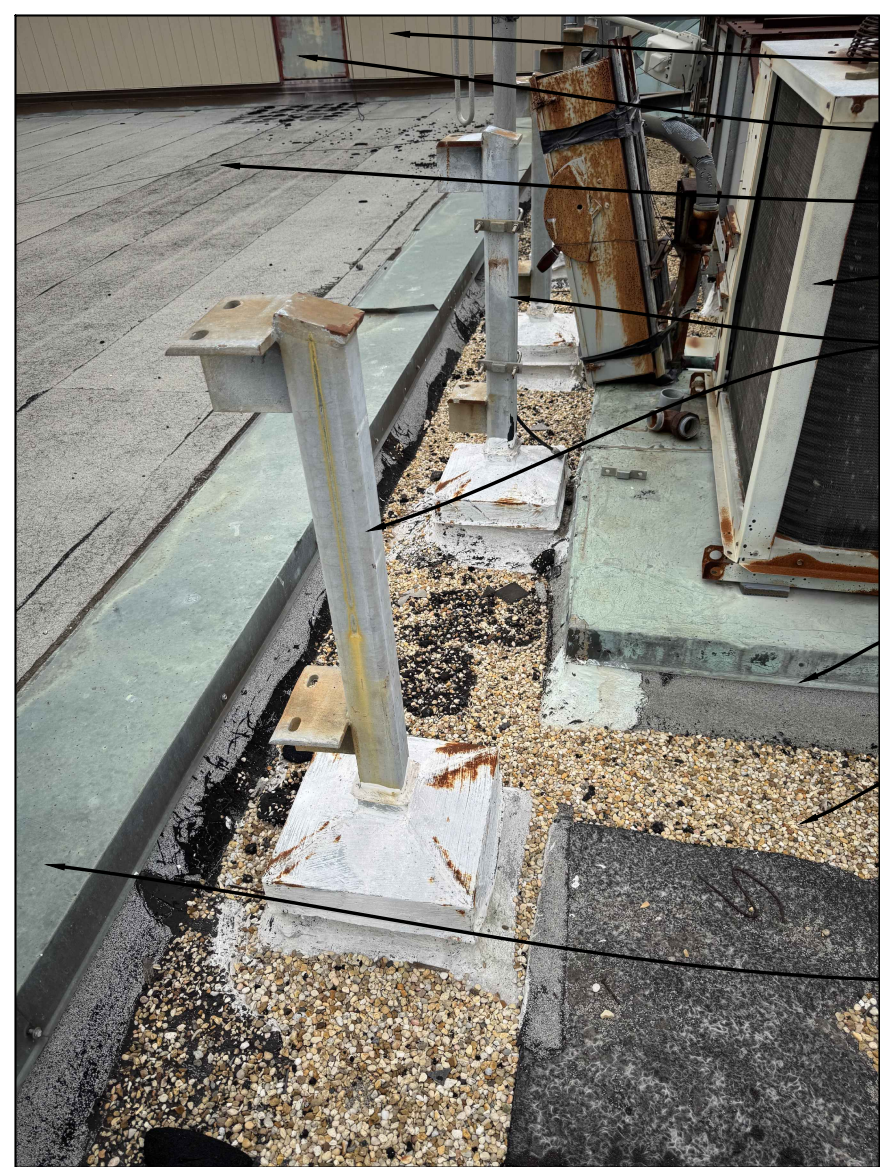


DEMO/REMEDIAL EXTERIOR ELEVATIONS
REPAIRS TO THE ENGINEERING BUILDING
8800 S. Claiborne Avenue, New Orleans, LA 70118
CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.

A201

8 of 16 sheets



1 PHOTOGRAPH N.T.S. A300



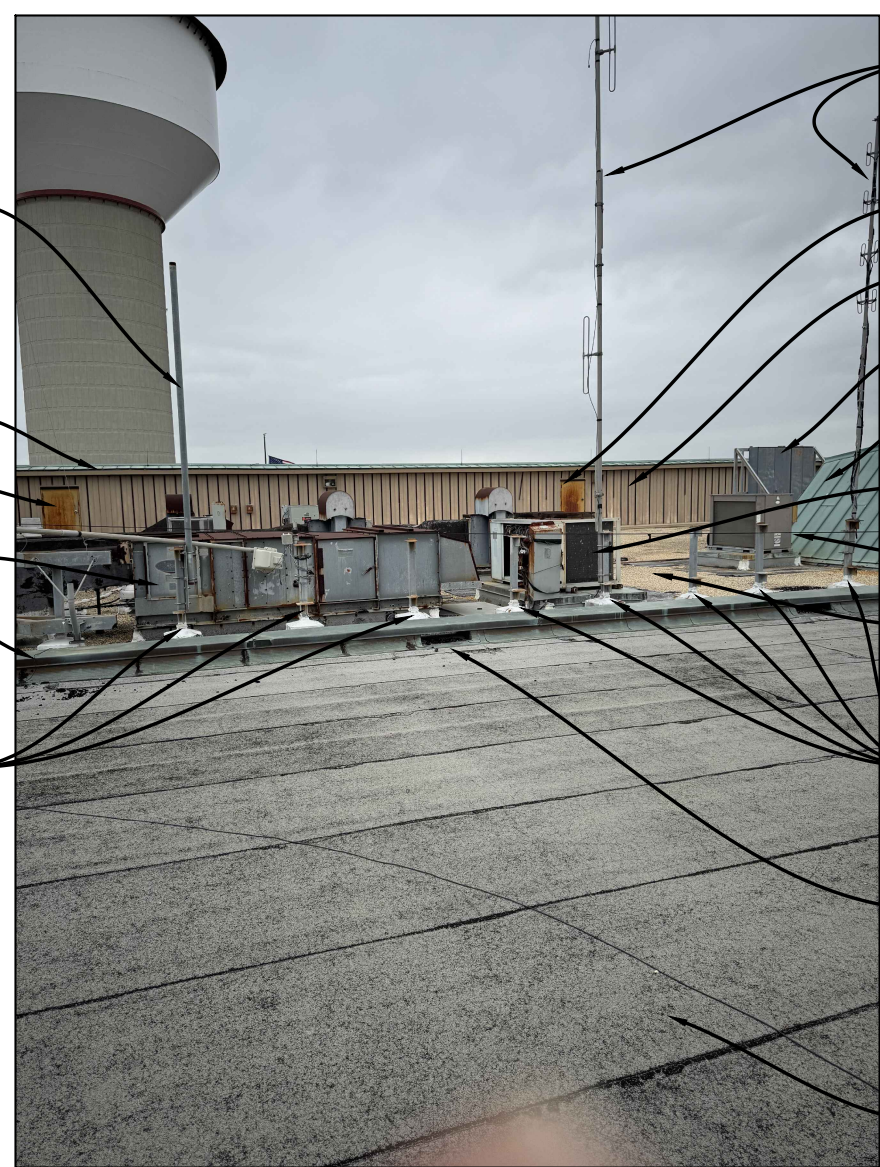
2 PHOTOGRAPH N.T.S. A300



3 PHOTOGRAPH N.T.S. A300



4 PHOTOGRAPH N.T.S. A300



5 PHOTOGRAPH N.T.S. A300



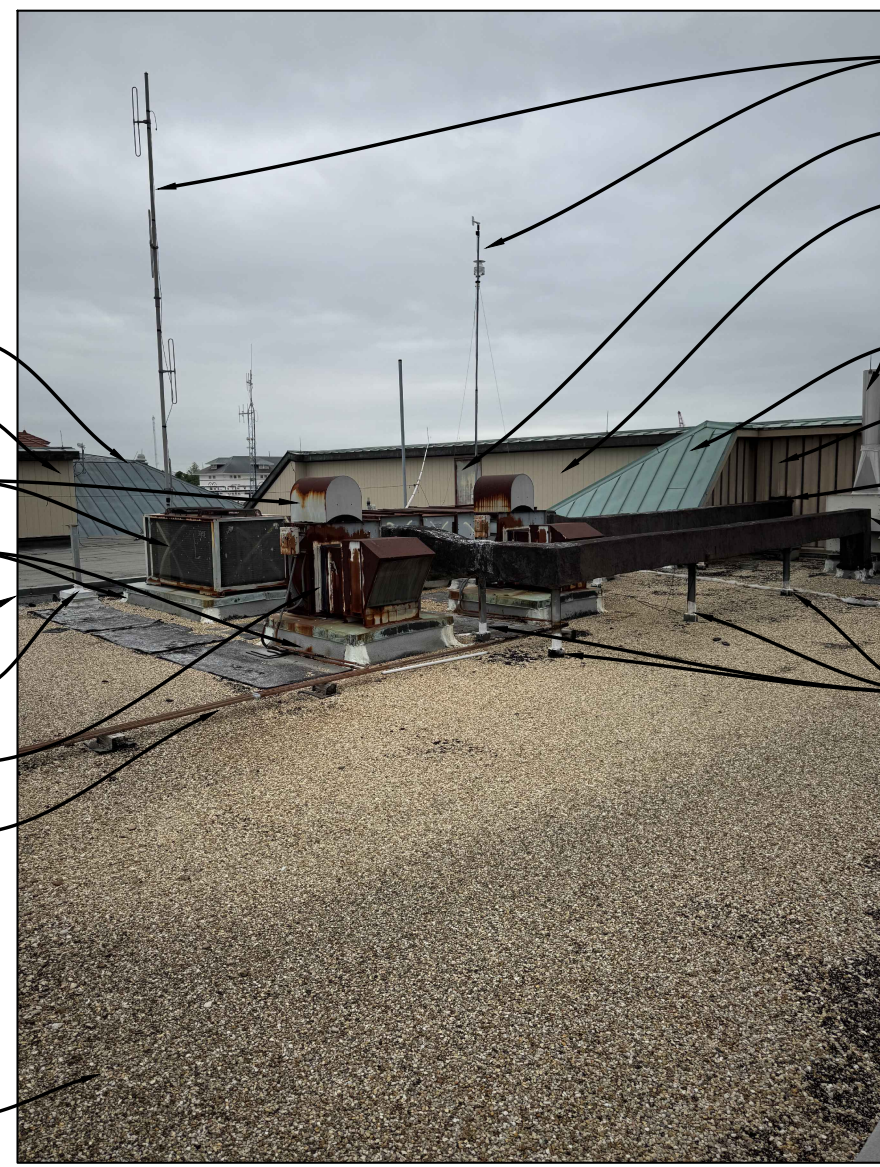
6 PHOTOGRAPH N.T.S. A300



7 PHOTOGRAPH N.T.S. A300



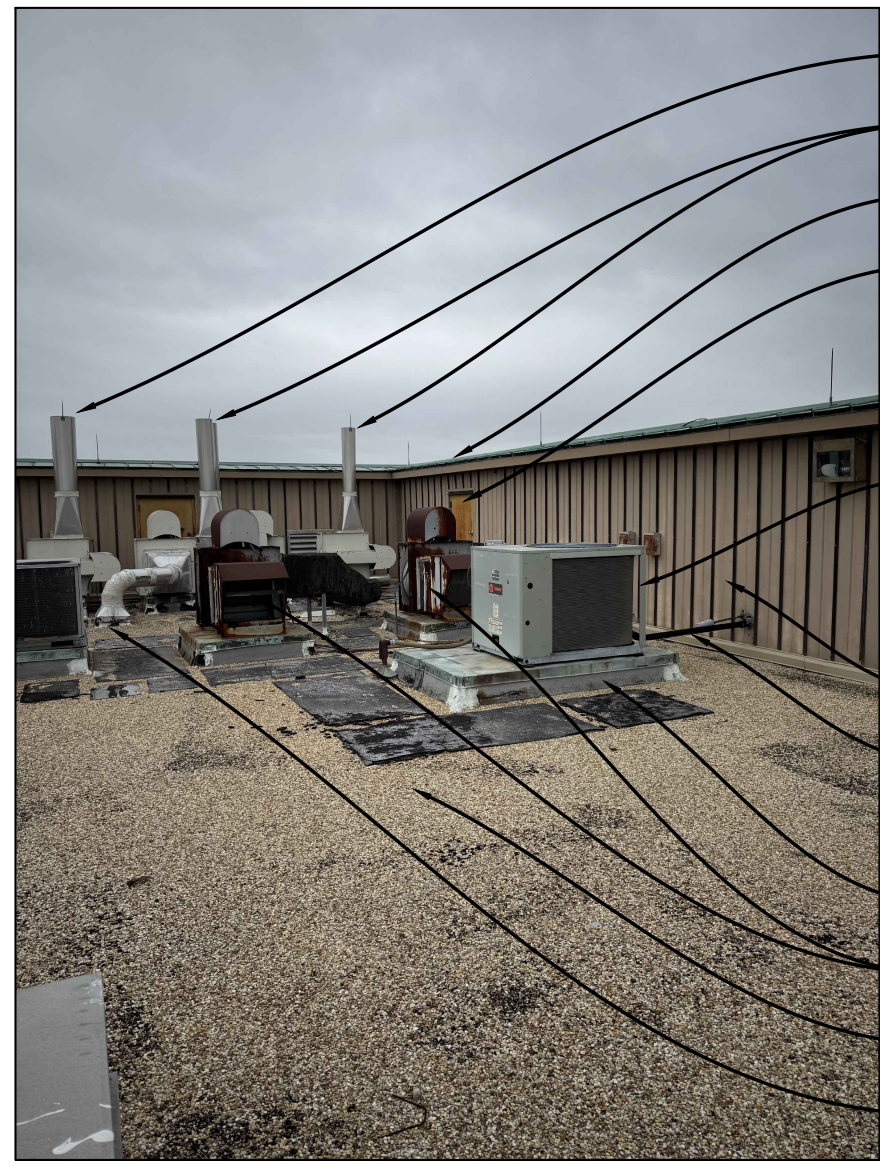
8 PHOTOGRAPH N.T.S. A300



9 PHOTOGRAPH N.T.S. A300



10 PHOTOGRAPH N.T.S. A300



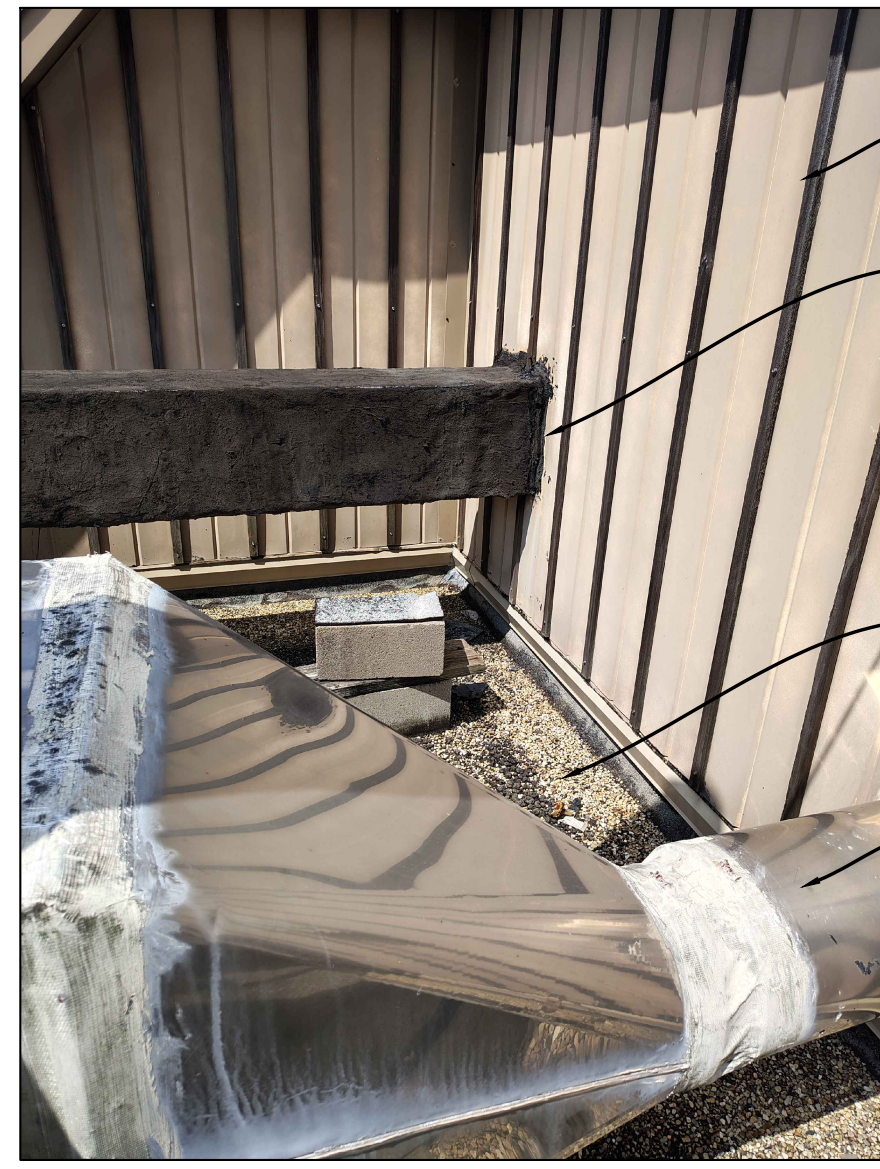
11 PHOTOGRAPH N.T.S. A300



12 PHOTOGRAPH N.T.S. A300



13 PHOTOGRAPH N.T.S. A300



14 PHOTOGRAPH N.T.S. A300



15 PHOTOGRAPH N.T.S. A300

KEYNOTES

NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET

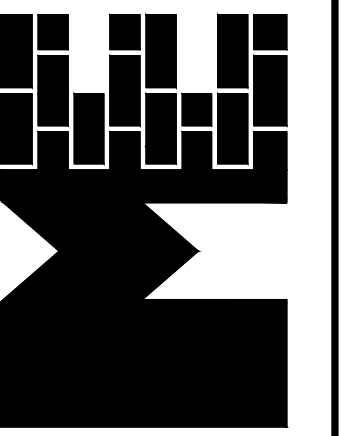
- 1 EXISTING BUILT-UP ROOFING ASSEMBLY AND GRAVEL TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR CONCRETE DECK BELOW PRIOR TO ACCEPTING NEW WORK.
- 2 EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR METAL DECKING BELOW PRIOR TO ACCEPTING NEW WORK.
- 3 EXISTING COPPER ROOFING, TRIM AND FLASHING TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK.
- 4 EXISTING COPPER ROOFING, TRIM, FLASHING AND GUTTERS TO BE REMOVED AND REPLACED. PATCH AND REPAIR PLYWOOD DECKING BELOW PRIOR TO ACCEPTING NEW WORK.
- 5 EXISTING MECHANICAL UNIT, DUCTWORK, AND WIRING TO BE REMOVED IN ITS ENTIRETY. PREP CURB AS REQUIRED FOR NOTE #7.
- 6 EXISTING MECHANICAL UNIT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 7 EXISTING CONCRETE CURB TO REMAIN. STRIP AND CLEAN OF ALL MATERIAL TO ACCEPT NEW ROOFING AND STAINLESS-STEEL COVER. UNIT PRICE #2 - REMOVE EXISTING HOOD UNIT AND ACCESSORIES IN THEIR ENTIRETY. TRIM AND SEAL DUCTWORK INSIDE BUILDING. REPAIR PLYWOOD SHEATHING AND VAPOR BARRIER TO MAINTAIN WEATHERPROOFING. REPLACE ALL DAMAGED METAL WALL PANELS AND BATTEN WITH NEW MATCHING CONSTRUCTION.
- 8 EXISTING METAL WALL PANELS TO REMAIN. REMOVE AND REPLACE WOOD BATTENS (30 COUNT) WITH NEW PRESSURE-TREATED 1x4 WOOD BATTENS (ADD/JAIL). SEAL ALL HOLES FOUND ON PANELS PRIOR TO INSTALLING NEW STRAPS. REMOVE AND REPLACE BASE FLASHING WITH NEW WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 9 EXISTING DOOR ASSEMBLY TO REMAIN. CLEAN AND PREP TO RECEIVE NEW PAINT FINISH AT EXTERIOR SIDE ONLY. REPLACE SILL FLASHING TO MATCH ADJACENT PANELS.
- 10 EXISTING ELECTRICAL PANEL, SUPPORTING STEEL STRUCTURE AND CURB TO REMAIN. REMOVE ALL PITCH POCKETS, CLEAN AND PREP PRIOR TO ACCEPTING NEW WORK.
- 11 EXISTING VTR TO REMAIN. PATCH AND PREP TO RECEIVE NEW CONSTRUCTION AND EXTEND OPENING TO MINIMUM OF 8" ABOVE NEW ROOF.
- 12 EXISTING CONDUITS TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. REMOVE AND REPLACE ALL EXISTING WOOD BLOCKING WITH NEW EPDM BLOCKS SPACED AT 8"-0" ON CENTER MAXIMUM.
- 13 EXISTING ROOF DRAINS TO REMAIN. PATCH AND REPAIR TO ACCEPT NEW RETROFIT DRAIN. EXISTING COPPER-FABRICATED EXPANSION JOINT/SCUPPER ASSEMBLY TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT AREA PRIOR TO ACCEPTING NEW WORK.
- 14 EXISTING GALVANIZED STEEL SUPPORT TO REMAIN. REMOVE CURB AND INTERNAL PITCH POCKET IN THEIR ENTIRETY. CLEAN, PATCH AND REPAIR SUPPORT AND ROOF AREA PRIOR TO ACCEPTING NEW WORK.
- 15 EXISTING BLACK-COATED ELEVATED DUCT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 16 EXISTING BLACK-COATED DUCT PENETRATION AND CURB TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. CLEAN AND PREP CURB TO ACCEPT NEW WORK. CLEAN AND RESEAL DUCT AS REQUIRED.
- 17 EXISTING ELECTRICAL WIRING TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. REMOVE METAL COVER AND PREP TO RECEIVE NEW PITCH POCKETS.
- 18 EXISTING DUCT PENETRATION TO REMAIN. REMOVE AND REPLACE STAINLESS-STEEL COVER WITH LIKE MATERIAL AND WATERPROOF AS REQUIRED. CLEAN AND PATCH CURB TO RECEIVE NEW ROOFING MEMBRANE.
- 19 EXISTING GOOSENECK VENT TO BE REMOVED AND REPLACE WITH NEW STAINLESS-STEEL CONSTRUCTION OF SAME SIZE AND PROFILE.
- 20 EXISTING SKYLIGHT TO REMAIN. REMOVE AND REINSTALL TO ALLOW NEW LIQUID MEMBRANE COATING TO BE APPLIED. REMOVE ALL GLAZING SEALANT, CLEAN AND PREP TO RECEIVE NEW MATERIAL. WATER TEST TO VERIFY WATERPROOF CONDITION.
- 21 EXISTING ELECTRICAL BOX TO REMAIN. REMOVE WIRING TO DEMOLISHED UNIT AND SEAL AS REQUIRED.
- 22 EXISTING COPPER GUTTER AND DOWNSPOUTS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK.
- 23 EXISTING GUTTER TO BE REMOVED AND REPLACE WITH NEW CONSTRUCTION OF LIKE KIND MATERIAL, PROFILE, AND BRACKETS.
- 24 ALL EXISTING REFRIGERANT LINES TO RECEIVE NEW INSULATION AND PLASTIC PIPE INSULATION JACKETING.
- 25 EXISTING ELECTRONIC EQUIPMENT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 26 EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY TO REMAIN IN PLACE. PATCH AND REPAIR TO ACCEPT NEW LIQUID MEMBRANE COATING.
- 27 EXISTING COPPER COPING TO BE REMOVED AND REPLACED WITH NEW LIKE MATERIAL AND PROFILE.
- 28 EXISTING METAL WALL PANELS TO REMAIN SEAL REMOVE AND REPLACE BASE FLASHING WITH NEW WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 29
- 30

project no. 25-1130-0046
drawn AFR
checked AD
date 12.18.2025
revised



Meyer Engineers, Ltd.
A Thompson Holdings Company
4937 Hearst Street Suite 1B
Metairie, Louisiana 70001
504.885.9892 (o)
www.meyer-ei.com

meyer
ENGINEERS + ARCHITECTS



PHOTOGRAPHS, KEYNOTES
REPAIRS TO THE ENGINEERING BUILDING
8800 S. Claiborne Avenue, New Orleans, LA 70118
CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
A300
9 of 16 sheets



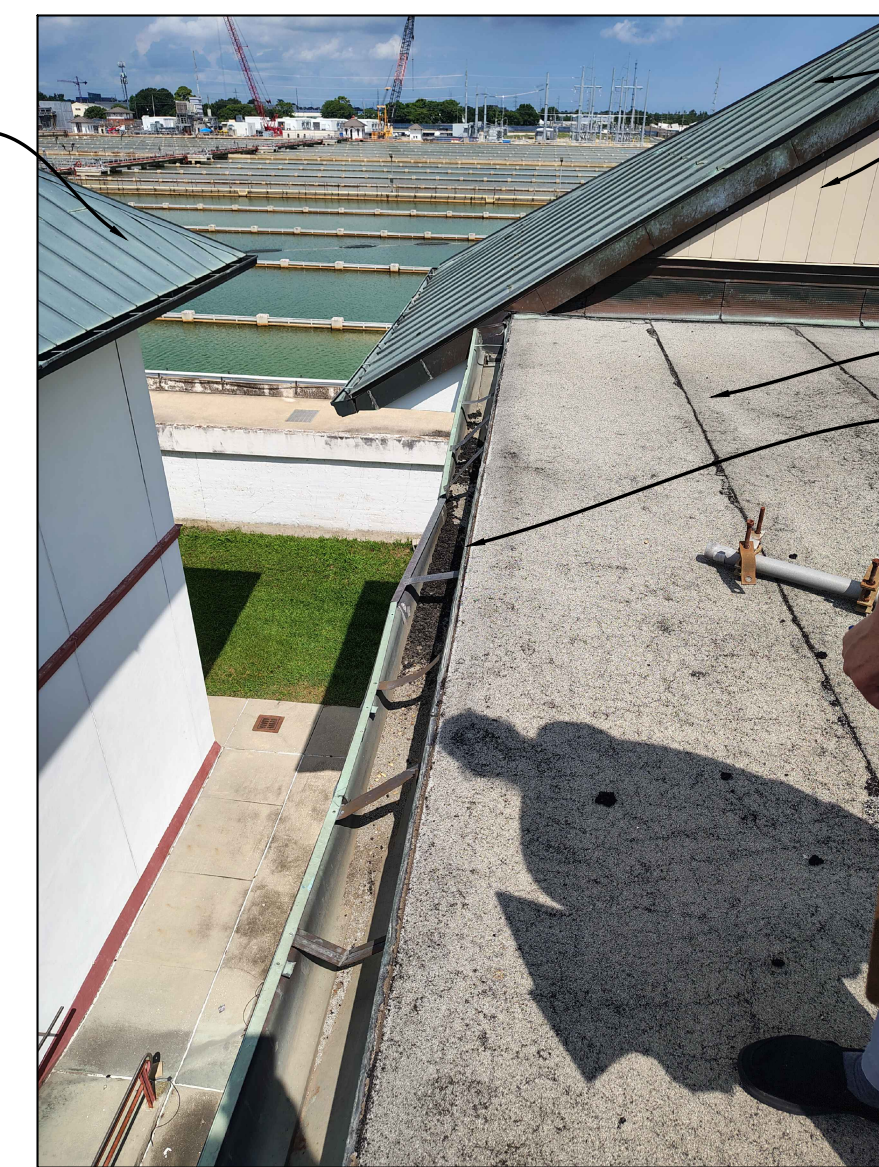
1 PHOTOGRAPH
A301 N.T.S.



2 PHOTOGRAPH
A301 N.T.S.



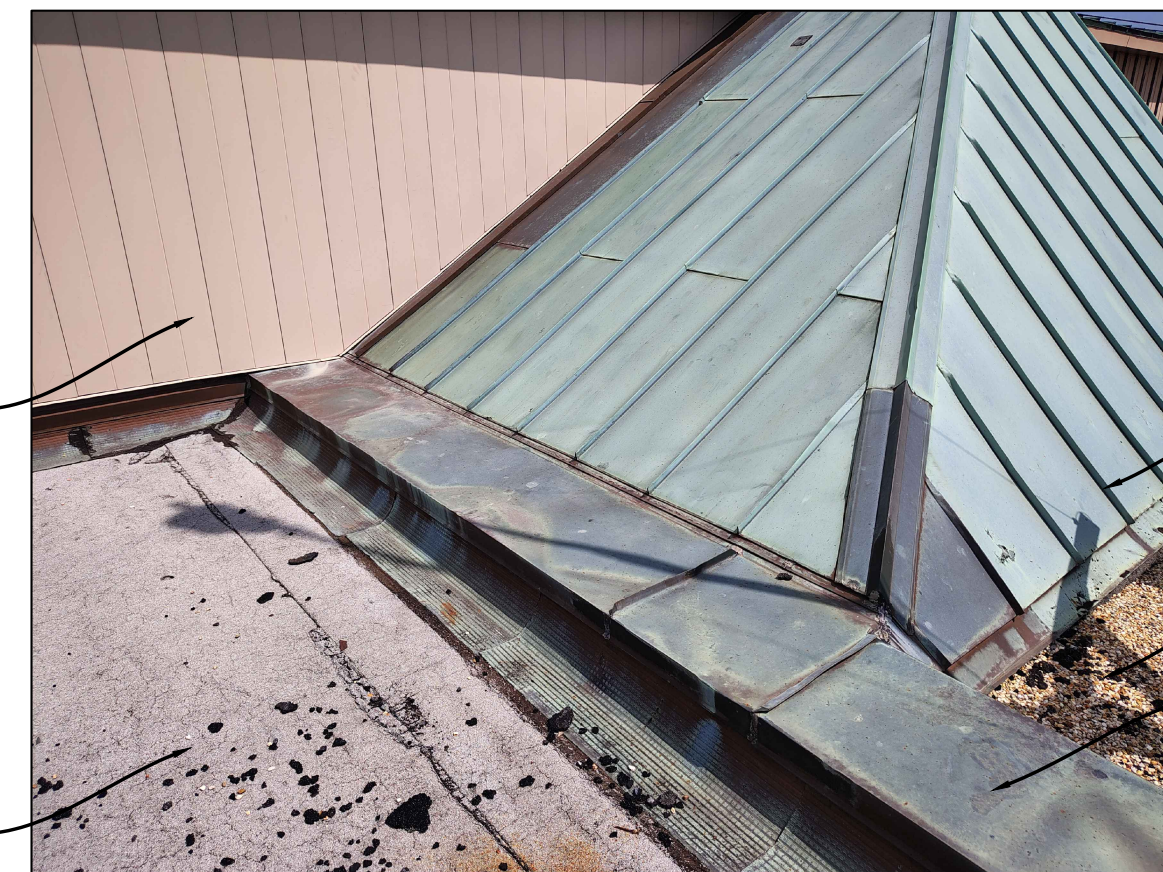
3 PHOTOGRAPH
A301 N.T.S.



4 PHOTOGRAPH
A301 N.T.S.



5 PHOTOGRAPH
A301 N.T.S.



6 PHOTOGRAPH
A301 N.T.S.



7 PHOTOGRAPH
A301 N.T.S.



8 PHOTOGRAPH
A301 N.T.S.



9 PHOTOGRAPH
A301 N.T.S.



10 PHOTOGRAPH
A301 N.T.S.



11 PHOTOGRAPH
A301 N.T.S.



12 PHOTOGRAPH
A301 N.T.S.

KEYNOTES

NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET

- 1 EXISTING BUILT-UP ROOFING ASSEMBLY AND GRAVEL TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR CONCRETE DECK BELOW PRIOR TO ACCEPTING NEW WORK.
- 2 EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR METAL DECKING BELOW PRIOR TO ACCEPTING NEW WORK.
- 3 EXISTING COPPER ROOFING, TRIM AND FLASHING TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK.
- 4 EXISTING COPPER ROOFING, TRIM, FLASHING AND GUTTERS TO BE REMOVED AND REPLACED. PATCH AND REPAIR PLYWOOD DECKING BELOW PRIOR TO ACCEPTING NEW WORK.
- 5 EXISTING MECHANICAL UNIT, DUCTWORK, AND WIRING TO BE REMOVED IN ITS ENTIRETY. PREP CURB AS REQUIRED FOR NOTE #7.
- 6 EXISTING MECHANICAL UNIT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 7 EXISTING CONCRETE CURB TO REMAIN. STRIP AND CLEAN OF ALL MATERIAL TO ACCEPT NEW ROOFING AND STAINLESS-STEEL COVER. UNIT PRICE #2 - REMOVE EXISTING HOOD UNIT AND ACCESSORIES IN THEIR ENTIRETY. TRIM AND SEAL DUCTWORK INSIDE BUILDING. REPAIR PLYWOOD SHEATHING AND VAPOR BARRIER TO MAINTAIN WEATHERPROOFING. REPLACE ALL DAMAGED METAL WALL PANELS AND BATTEN WITH NEW MATCHING CONSTRUCTION.
- 8 EXISTING METAL WALL PANELS TO REMAIN. REMOVE AND REPLACE WOOD BATTENS (30 COUNT) WITH NEW PRESSURE-TREATED 1x4 WOOD BATTENS (ADD/ALT.). SEAL ALL HOLES FOUND ON PANELS PRIOR TO INSTALLING NEW STRAPS. REMOVE AND REPLACE BASE FLASHING WITH NEW WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 9 EXISTING DOOR ASSEMBLY TO REMAIN. CLEAN AND PREP TO RECEIVE NEW PAINT FINISH AT EXTERIOR SIDE ONLY. REPLACE SILL FLASHING TO MATCH ADJACENT PANELS.
- 10 EXISTING ELECTRICAL PANEL, SUPPORTING STEEL STRUCTURE AND CURB TO REMAIN. REMOVE ALL PITCH POCKETS, CLEAN AND PREP PRIOR TO ACCEPTING NEW WORK.
- 11 EXISTING VTR TO REMAIN. PATCH AND PREP TO RECEIVE NEW CONSTRUCTION AND EXTEND OPENING TO MINIMUM OF 8" ABOVE NEW ROOF.
- 12 EXISTING CONDUITS TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. REMOVE AND REPLACE ALL EXISTING WOOD BLOCKING WITH NEW EPDM BLOCKS SPACED AT 8'-0" ON CENTER MAXIMUM.
- 13 EXISTING ROOF DRAINS TO REMAIN. PATCH AND REPAIR TO ACCEPT NEW RETROFIT DRAIN.
- 14 EXISTING COPPER-FABRICATED EXPANSION JOINT/SUPPER ASSEMBLY TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT AREA PRIOR TO ACCEPTING NEW WORK.
- 15 EXISTING GALVANIZED STEEL SUPPORT TO REMAIN. REMOVE CURB AND INTERNAL PITCH POCKET IN THEIR ENTIRETY. CLEAN, PATCH AND REPAIR SUPPORT AND ROOF AREA PRIOR TO ACCEPTING NEW WORK.
- 16 EXISTING BLACK-COATED ELEVATED DUCT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 17 EXISTING ELECTRICAL WIRING TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. REMOVE METAL COVER AND PREP TO RECEIVE NEW PITCH POCKETS.
- 18 EXISTING DUCT PENETRATION AT ROOF TO BE REMOVED AND INFILLED WITH NEW INSULATED CONSTRUCTION PRIOR TO INSTALLING NEW ROOFING MEMBRANE.
- 19 EXISTING GOOSENECK VENT TO BE REMOVED AND REPLACE WITH NEW STAINLESS-STEEL CONSTRUCTION OF SAME SIZE AND PROFILE.
- 20 EXISTING ELECTRICAL BOX TO REMAIN. REMOVE WIRING TO DEMOLISHED UNIT AND SEAL AS REQUIRED.
- 21 EXISTING GUTTER TO BE REMOVED AND REPLACE WITH NEW CONSTRUCTION OF LIKE KIND MATERIAL, PROFILE, AND BRACKETS.
- 22 ALL EXISTING REFRIGERANT LINES TO RECEIVE NEW INSULATION AND PLASTIC PIPE INSULATION JACKETING.
- 23 EXISTING ELECTRONIC EQUIPMENT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 24 EXISTING METAL WALL PANELS TO REMAIN SEAL REMOVE AND REPLACE BASE FLASHING WITH NEW WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 25

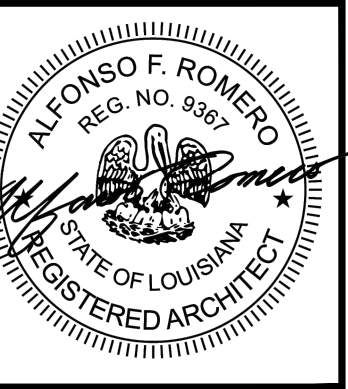
project no. 25-1130-0046

drawn AFR

checked AD

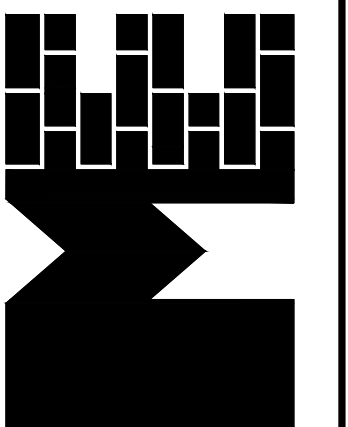
date 12.18.2025

revised



Meyer Engineers, Ltd.
A Thompson Holdings Company
4937 Hearst Street Suite 1B
Metairie, Louisiana 70001
504.885.9892 (o)
www.meyer-ei.com

meyer
ENGINEERS + ARCHITECTS



PHOTOGRAPHS, KEYNOTES
REPAIRS TO THE ENGINEERING BUILDING
8800 S. Claiborne Avenue, New Orleans, LA 70118
CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.

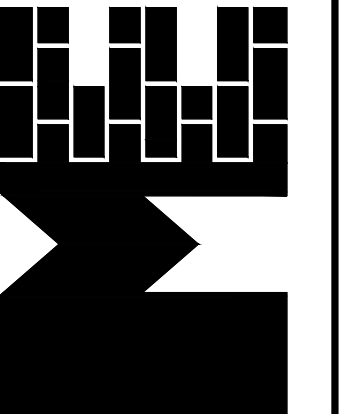
A301

10 of 16 sheets

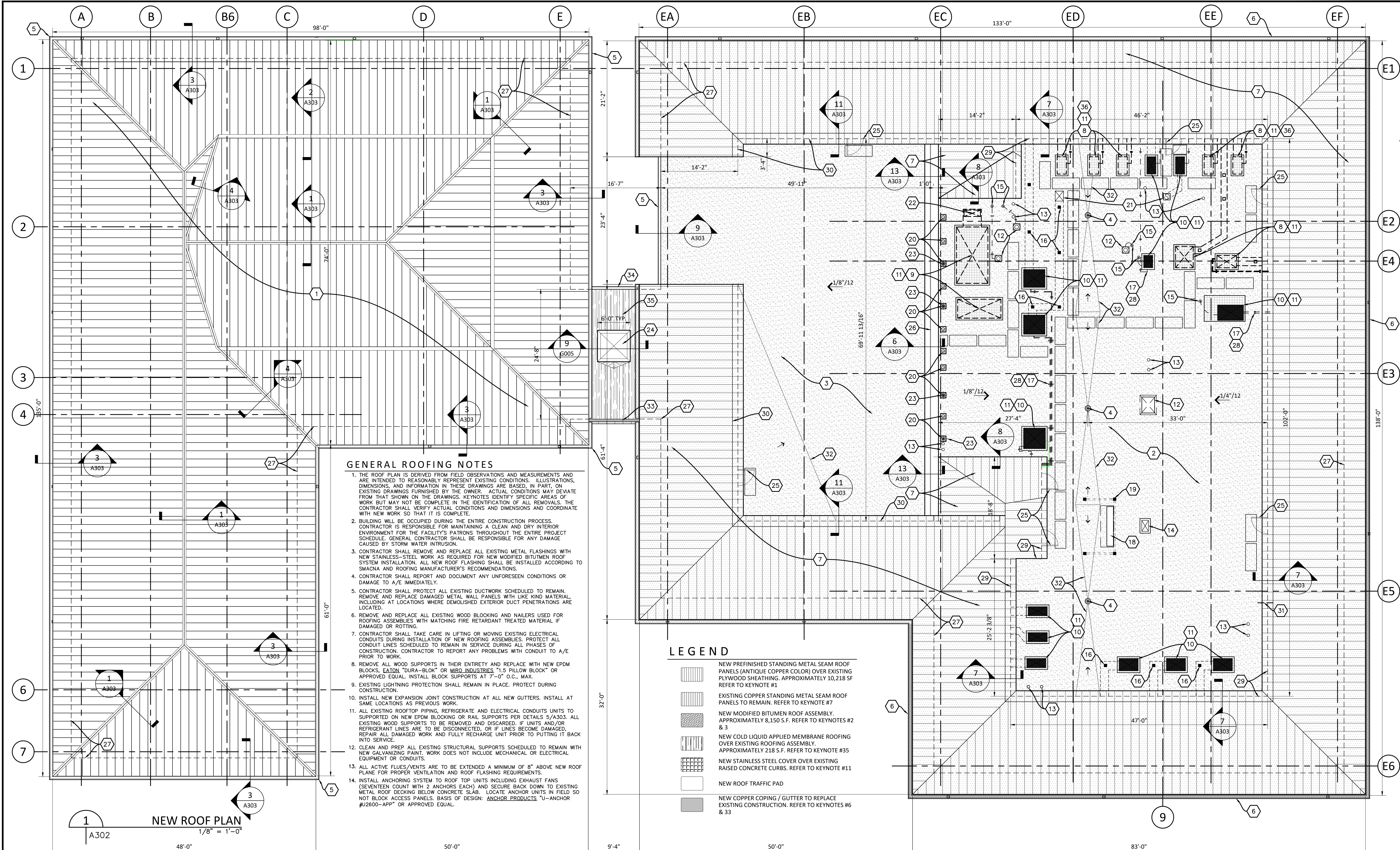


Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com

meyer
 ENGINEERS + ARCHITECTS



ROOF PLAN, GENERAL AND KEYNOTES, LEGEND
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43



GENERAL ROOFING NOTES

1. THE ROOF PLAN IS DERIVED FROM FIELD OBSERVATIONS AND MEASUREMENTS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ILLUSTRATIONS, DIMENSIONS, AND INFORMATION IN THESE DRAWINGS ARE BASED, IN PART, ON EXISTING DRAWINGS FURNISHED BY THE OWNER. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. KEYNOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND DIMENSIONS AND COORDINATE WITH NEW WORK SO THAT IT IS COMPLETE.
2. BUILDING WILL BE OCCUPIED DURING THE ENTIRE CONSTRUCTION PROCESS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND DRY INTERIOR ENVIRONMENT FOR THE FACILITY'S PATRONS THROUGHOUT THE ENTIRE PROJECT SCHEDULE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY STORM WATER INTRUSION.
3. CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING METAL FLASHINGS WITH NEW STAINLESS-STEEL WORK AS REQUIRED FOR NEW MODIFIED BITUMEN ROOF SYSTEM INSTALLATION. ALL NEW ROOF FLASHING SHALL BE INSTALLED ACCORDING TO SMACNA AND ROOFING MANUFACTURER'S RECOMMENDATIONS.
4. CONTRACTOR SHALL REPORT AND DOCUMENT ANY UNFORESEEN CONDITIONS OR DAMAGE TO A/E IMMEDIATELY.
5. CONTRACTOR SHALL PROTECT ALL EXISTING DUCTWORK SCHEDULED TO REMAIN. REMOVE AND REPLACE DAMAGED METAL WALL PANELS WITH LIKE KIND MATERIAL, INCLUDING AT LOCATIONS WHERE DEMOLISHED EXTERIOR DUCT PENETRATIONS ARE LOCATED.
6. REMOVE AND REPLACE ALL EXISTING WOOD BLOCKING AND NAILERS USED FOR ROOFING ASSEMBLIES WITH MATCHING FIRE RETARDANT TREATED MATERIAL IF DAMAGED OR ROTTING.
7. CONTRACTOR SHALL TAKE CARE IN LIFTING OR MOVING EXISTING ELECTRICAL CONDUITS DURING INSTALLATION OF NEW ROOFING ASSEMBLIES. PROTECT ALL CONDUIT LINES SCHEDULED TO REMAIN IN SERVICE DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPORT ANY PROBLEMS WITH CONDUIT TO A/E PRIOR TO WORK.
8. REMOVE ALL WOOD SUPPORTS IN THEIR ENTIRETY AND REPLACE WITH NEW EPDM BLOCKS, EATON "DURA-BLOCK" OR MIRO INDUSTRIES "1.5 PILLOW BLOCK" OR APPROVED EQUAL. INSTALL BLOCK SUPPORTS AT 7'-0" O.C., MAX.
9. EXISTING LIGHTNING PROTECTION SHALL REMAIN IN PLACE. PROTECT DURING CONSTRUCTION.
10. INSTALL NEW EXPANSION JOINT CONSTRUCTION AT ALL NEW GUTTERS. INSTALL AT SAME LOCATIONS AS PREVIOUS WORK.
11. ALL EXISTING ROOFTOP PIPING, REFRIGERATE AND ELECTRICAL CONDUITS UNITS TO SUPPORTED ON NEW EPDM BLOCKING OR RAIL SUPPORTS PER DETAILS 5/A303. ALL EXISTING WOOD SUPPORTS TO BE REMOVED AND DISCARDED. IF UNITS AND/OR REFRIGERANT LINES ARE TO BE DISCONNECTED, OR IF LINES BECOME DAMAGED, REPAIR ALL DAMAGED WORK AND FULLY RECHARGE UNIT PRIOR TO PUTTING IT BACK INTO SERVICE.
12. CLEAN AND PREP ALL EXISTING STRUCTURAL SUPPORTS SCHEDULED TO REMAIN WITH NEW GALVANIZING PAINT. WORK DOES NOT INCLUDE MECHANICAL OR ELECTRICAL EQUIPMENT OR CONDUITS.
13. ALL ACTIVE FLUES/VENTS ARE TO BE EXTENDED A MINIMUM OF 8" ABOVE NEW ROOF PLANE FOR PROPER VENTILATION AND ROOF FLASHING REQUIREMENTS.
14. INSTALL ANCHORING SYSTEM TO ROOF TOP UNITS INCLUDING EXHAUST FANS (SEVENTEEN COUNT WITH 2 ANCHORS EACH) AND SECURE BACK DOWN TO EXISTING METAL ROOF DECKING BELOW CONCRETE SLAB. LOCATE ANCHOR UNITS IN FIELD SO NOT BLOCK ACCESS PANELS. BASIS OF DESIGN: ANCHOR PRODUCTS "U-ANCHOR #U2600-APP" OR APPROVED EQUAL.

LEGEND

- NEW PREFINISHED STANDING METAL SEAM ROOF PANELS (ANTIQUÉ COPPER COLOR) OVER EXISTING PLYWOOD SHEATHING. APPROXIMATELY 10,218 SF REFER TO KEYNOTE #1
- EXISTING COPPER STANDING METAL SEAM ROOF PANELS TO REMAIN. REFER TO KEYNOTE #7
- NEW MODIFIED BITUMEN ROOF ASSEMBLY. APPROXIMATELY 8,150 S.F. REFER TO KEYNOTES #2 & 3
- NEW COLD LIQUID APPLIED MEMBRANE ROOFING OVER EXISTING ROOFING ASSEMBLY. APPROXIMATELY 218 S.F. REFER TO KEYNOTE #35
- NEW STAINLESS STEEL COVER OVER EXISTING RAISED CONCRETE CURBS. REFER TO KEYNOTE #11
- NEW ROOF TRAFFIC PAD
- NEW COPPER COPING / GUTTER TO REPLACE EXISTING CONSTRUCTION. REFER TO KEYNOTES #6 & 33

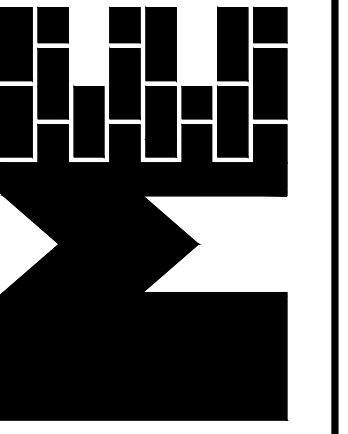
KEYNOTES

1. UNIT PRICE - REFERENCE NO. 5: REMOVE EXISTING COPPER ROOF PANELS AND BUILDING FELT IN ITS ENTIRETY TO EXPOSE PLYWOOD DECKING BELOW. REPLACE WITH NEW PREFINISHED STANDING SEAM METAL ROOF PANELS AND SELF-ADHERING ROOFING UNDERLAYMENT.
2. UNIT PRICE - REFERENCE NO. 2: REMOVE EXISTING GRAVEL AND BUILT-UP ROOFING ASSEMBLY TO EXPOSE CONCRETE DECK BELOW. REPLACE WITH NEW MODIFIED BITUMEN ROOFING ASSEMBLY OVER TAPERED RIGID INSULATION.
3. UNIT PRICE - REFERENCE NO. 3: REMOVE EXISTING MODIFIED BITUMEN ROOFING ASSEMBLY TO EXPOSE METAL DECKING BELOW. REPLACE WITH NEW MODIFIED BITUMEN ROOFING ASSEMBLY OVER TAPERED RIGID INSULATION.
4. REMOVE AND REPLACE EXISTING 6" x 8" ROOF DRAINS WITH NEW RETRO-FIT ROOF DRAINS OF EQUAL SIZE. CONTRACTOR TO TEST DRAINS FOR LEAKS AFTER INSTALLATION.
5. REMOVE EXISTING COPPER GUTTERS AND BRACKETS ONLY AND REPLACE WITH NEW PREFINISHED METAL OF MATCHING PROFILE. TIE AND SEAL NEW WORK INTO EXISTING COPPER DOWNSPOUTS SCHEDULED TO REMAIN. INSTALL NEW EXPANSION JOINTS AT ORIGINAL LOCATIONS.
6. UNIT PRICE - REFERENCE NO. 2: REMOVE AND REPLACE ENTIRE LENGTH OF DAMAGED GUTTER AND BRACKETS WITH LIKE MATERIAL AND PROFILE. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
7. EXISTING COPPER ROOF PANELS TO REMAIN. PATCH AND REPAIR PANELS AND UNDERLYING BUILDING FELT WHERE NEW WORK TIES INTO EXISTING, WHETHER INDICATED ON THE DRAWINGS OR NOT.
8. UNIT PRICE - REFERENCE NO. 6: REMOVE EXISTING FLUME HOOD EQUIPMENT AND ACCESSORIES IN THEIR ENTIRETY. PATCH AND REPAIR ALL SURROUNDING AREAS INCLUDING EXTERIOR WALL WITH NEW WORK TO MAINTAIN WEATHERPROOF CONDITIONS.
9. BASE BID: EXISTING MECHANICAL EQUIPMENT AND ACCESSORIES TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR ADJACENT AREAS AS REQUIRED.
10. EXISTING MECHANICAL EQUIPMENT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION. EXISTING CONCRETE EQUIPMENT CURB TO REMAIN. CLEAN, PATCH AND REPAIR ALL SURFACES TO ACCEPT NEW ROOFING FLASHING MEMBRANES. CAP WITH NEW STAINLESS-STEEL COVER. REFER TO DETAIL 15/A303.
11. EXISTING EXHAUST FAN TO REMAIN. REMOVE UNIT AND REBUILD CURB AS REQUIRED TO MAINTAIN A MINIMUM OF 8" ABOVE NEW ROOF. FLASH WITH NEW ROOFING MEMBRANE AS REQUIRED. REFER TO DETAIL 10/A303.
12. EXISTING VENT-THRU-ROOF (VTR) TO REMAIN. PATCH AND PREP TO RECEIVE NEW CONSTRUCTION AND EXTEND OPENING TO MINIMUM OF 8" ABOVE NEW ROOF. REFER TO DETAIL 14/A303.
13. REMOVE AND REPLACE EXISTING GOOSENECK VENT WITH NEW STAINLESS-STEEL CONSTRUCTION THAT MATCHES PROFILE AND OPENING. PROTECT OPENING WITH NEW INSECT SCREEN. RAISE CURB AS REQUIRED TO MAINTAIN A MINIMUM OF 8" ABOVE NEW ROOF. SIMILAR TO DETAIL 10/A303.
14. EXISTING CONDUIT SEALED PENETRATION ASSEMBLY TO BE REMOVED AND REPLACED WITH NEW COLD LIQUID APPLIED MEMBRANE COATING. EXISTING STEEL SUPPORT TO REMAIN. REMOVE PITCH POCKET IN ITS ENTIRETY. CLEAN AND PREP SUPPORT TO RECEIVE NEW COLD LIQUID APPLIED MEMBRANE COATING.
15. EXISTING CONDUITS TO REMAIN. REMOVE AND REPLACE WOOD SUPPORTS WITH NEW EPDM BLOCKING. SIZE NEW BLOCKING TO SUPPORT EXISTING ELECTRICAL PANEL AND CURB TO REMAIN. CLEAN AND PREP CURB TO RECEIVE NEW COLD LIQUID APPLIED MEMBRANE COATING.
16. EXISTING STEEL STRUCTURE TO REMAIN. CLEAN AND PREP TO RECEIVE NEW GALVANIZING PAINT. REMOVE PITCH POCKETS IN THEIR ENTIRETY. CLEAN AND PREP TO RECEIVE NEW COLD LIQUID APPLIED MEMBRANE COATING.
17. EXISTING DUCT PENETRATION TO REMAIN. REMOVE AND REPLACE STAINLESS-STEEL COVER WITH LIKE MATERIAL AND WATERPROOF AS REQUIRED. CLEAN AND PATCH CURB TO RECEIVE NEW ROOFING MEMBRANE.
18. EXISTING DUCT PENETRATION AT ROOF TO BE REMOVED AND INFILL WITH NEW INSULATED CONSTRUCTION PRIOR TO INSTALLING NEW ROOFING MEMBRANE. REFER TO DETAIL 12/A303.
19. EXISTING ANTENNAE TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
20. EXISTING SKYLIGHT TO REMAIN. REMOVE AND REINSTALL FOR ROOF TO RECEIVE NEW COLD LIQUID APPLIED MEMBRANE COATING. REMOVE ALL EXTERIOR GLAZING SEALANT. CLEAN AND PREP TO RECEIVE NEW MATERIAL. WATER TEST TO VERIFY WATERPROOF CONDITION.
21. EXISTING DOOR/FRAME TO REMAIN. CLEAN AND PREP TO RECEIVE NEW PAINT FINISH AT EXTERIOR SURFACES ONLY.
22. EXISTING COPPER EXPANSION JOINT/SUPPER CONSTRUCTION TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR ENTIRE LENGTH OF JOINT AND ADJACENT AREAS TO RECEIVE NEW CONSTRUCTION.
23. LINE OF EXISTING BUILDING BELOW ROOF.
24. REPLACE ALL REFRIGERANT LINE INSULATION WITH NEW INSULATION AND PLASTIC JACKET.
25. ADDITIVE ALTERNATE #1: REMOVE AND REPLACE EXISTING WOOD STRIPS WITH NEW PRESSURE-TREATED 1x4 WOOD BATTENS. REFER TO DETAIL 7/A303.
26. EXISTING METAL PANELS TO REMAIN. REMOVE AND REPLACE BASE FLASHING AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. REFER TO DETAIL 11/A303.
27. REMOVE ABANDONED PIPING AND REPLACE DAMAGED METAL PANEL WITH NEW MATCHING CONSTRUCTION.
28. NEW ROOF CRICKET.
29. REMOVE AND REPLACE COPPER COPING ONLY WITH NEW LIKE MATERIAL.
30. EXISTING COPPER GUTTER, BRACKETS, AND DOWNSPOUTS TO REMAIN. PROTECT DURING CONSTRUCTION.
31. EXISTING MODIFIED BITUMEN ROOFING MEMBRANE TO REMAIN. PATCH AND REPAIR TO RECEIVE NEW COLD LIQUID APPLIED MEMBRANE COATING.
32. REMOVE AND REPLACE EXISTING METAL PANELS WITH LIKE KIND WHERE DAMAGED BY DUCT PENETRATIONS. CUT OFF INTERIOR DUCTWORK ONE (1) FOOT AWAY FROM WALL AND SEAL.



Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com

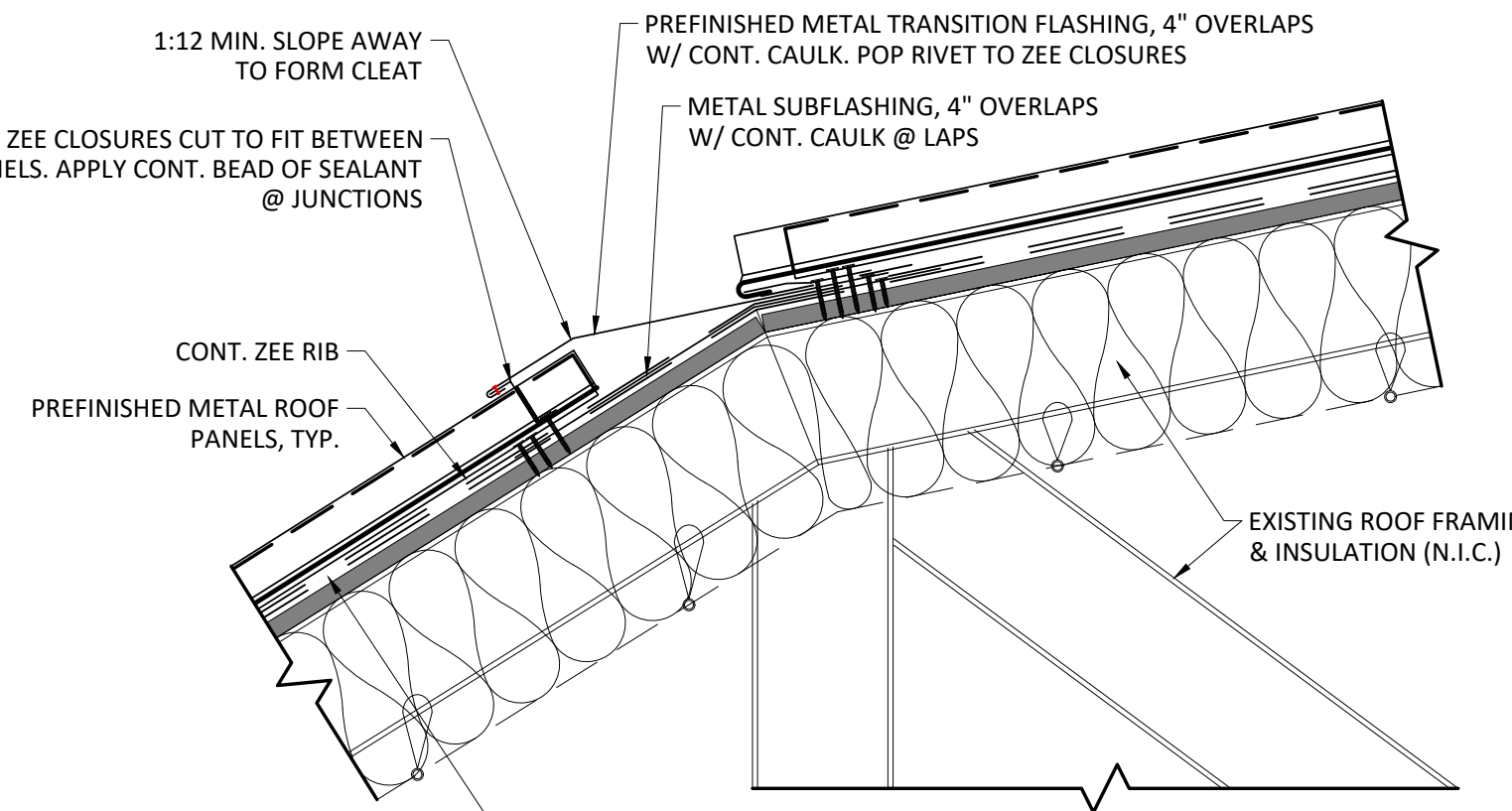
meyer
 ENGINEERS + ARCHITECTS



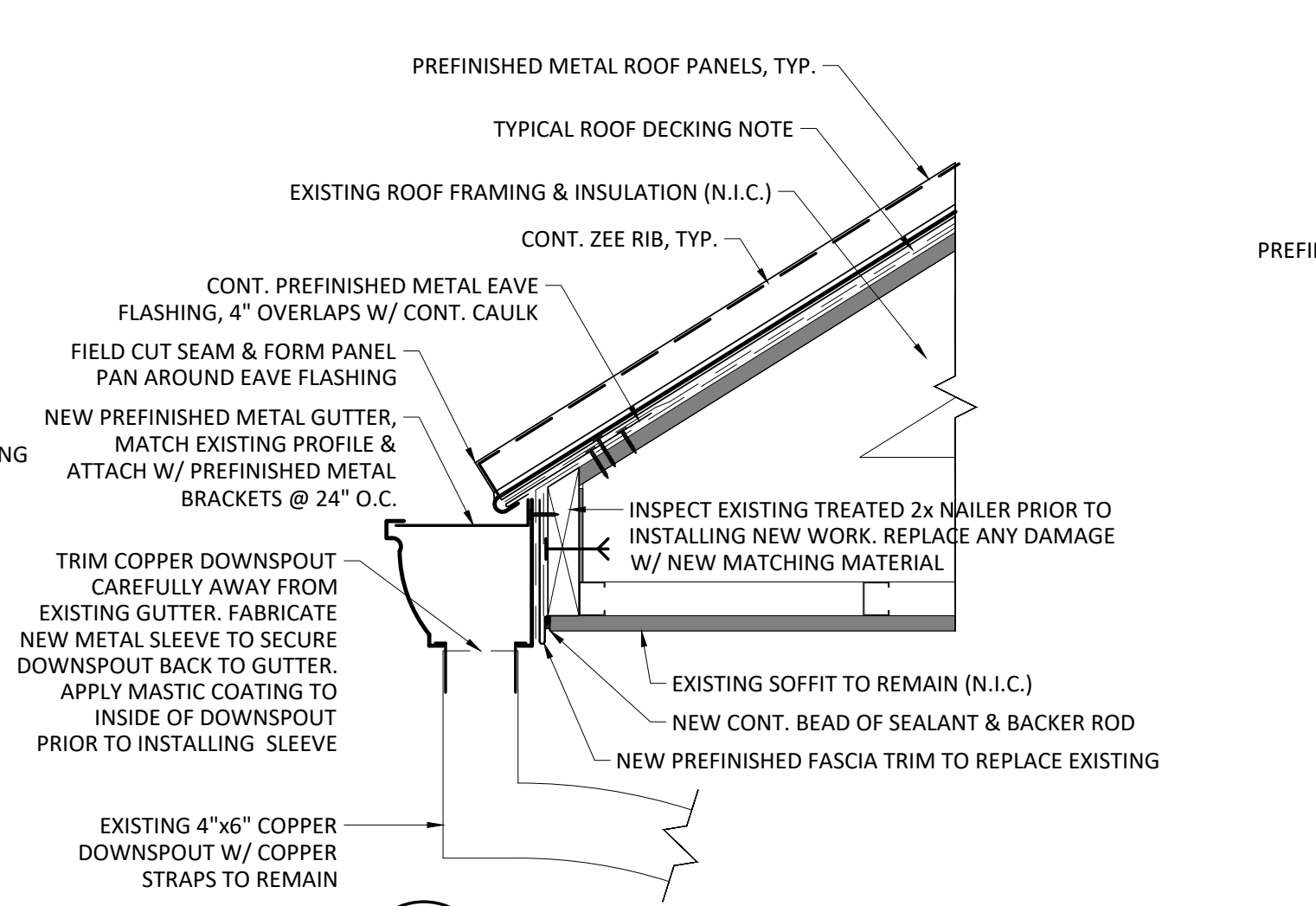
ROOF DETAILS
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43



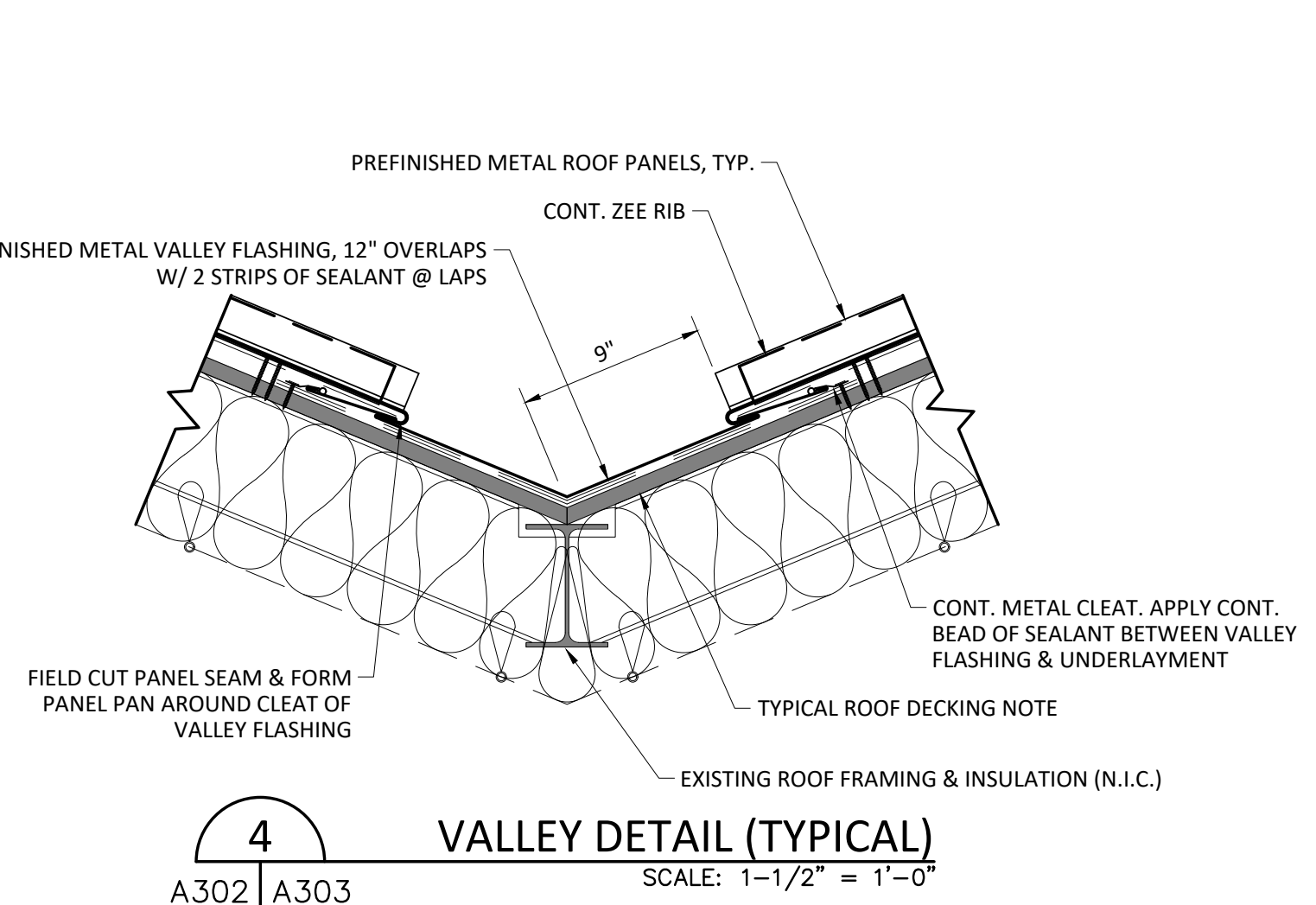
1 RIDGE-HIP DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



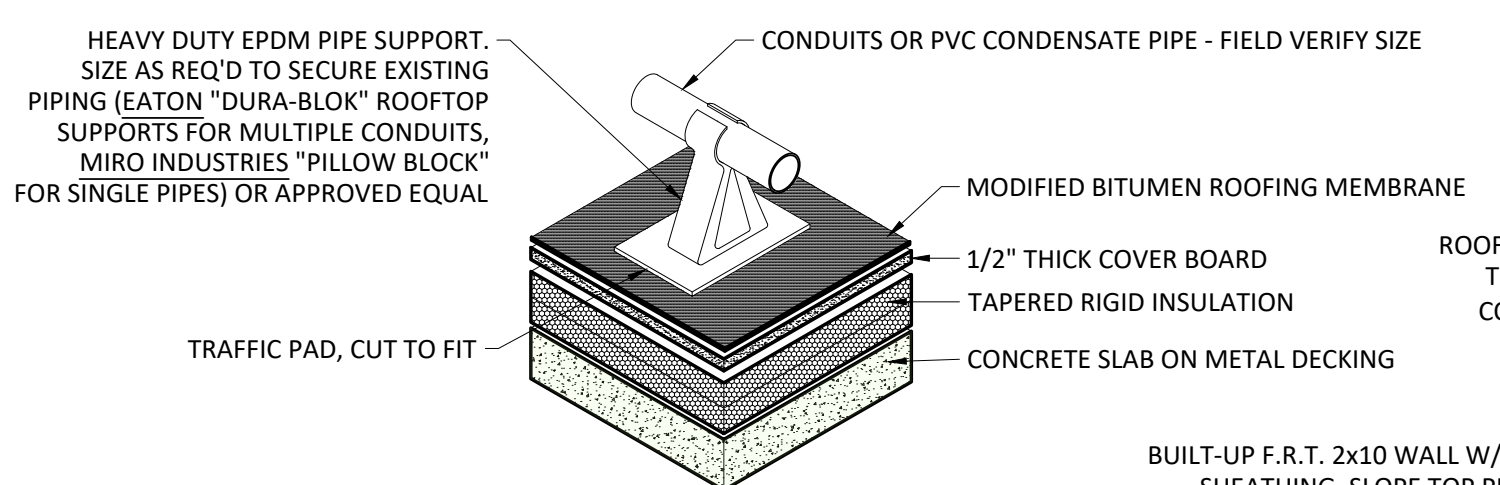
2 ROOF PLANE BREAK (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



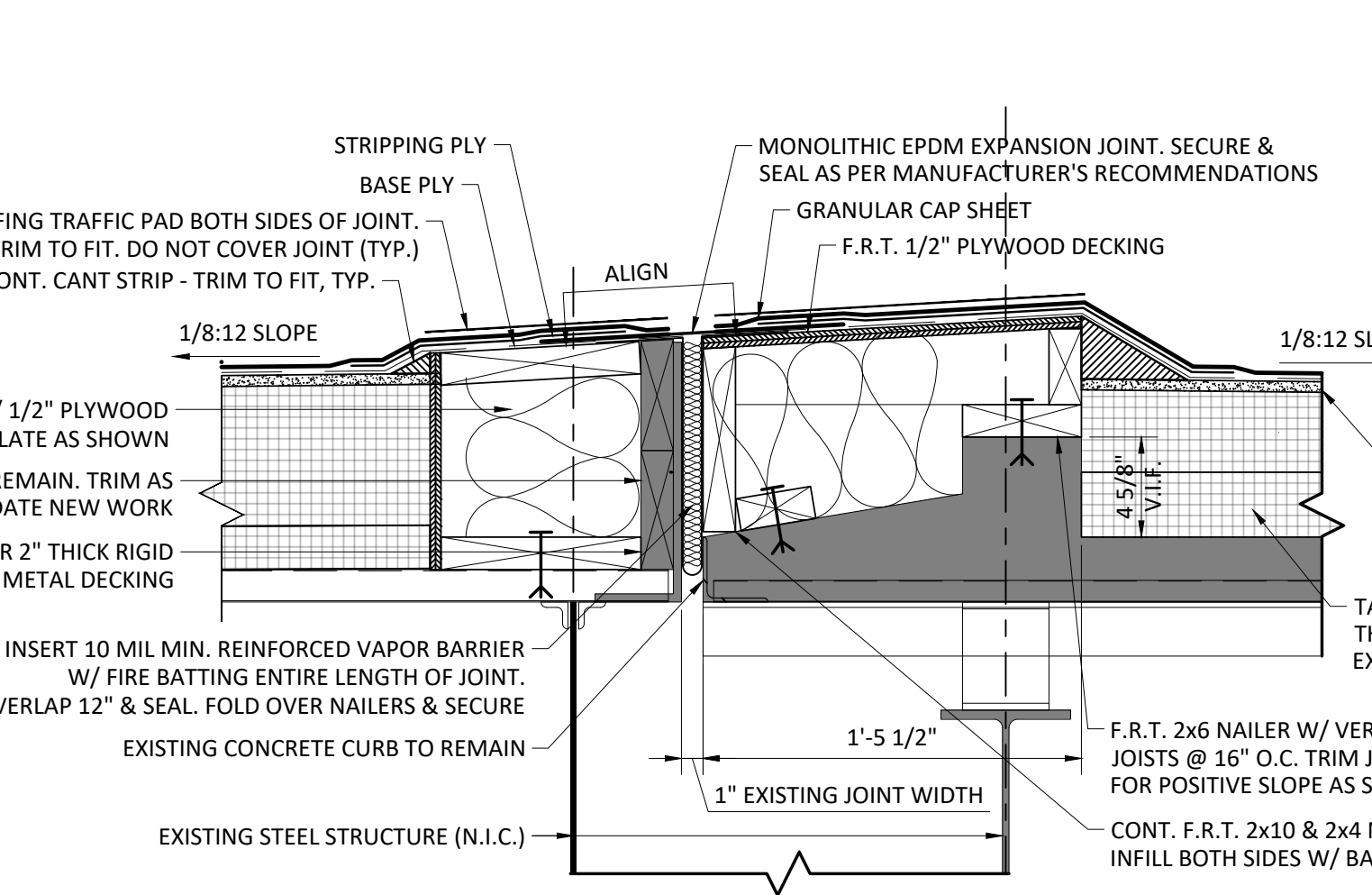
3 FASCIA EDGE DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



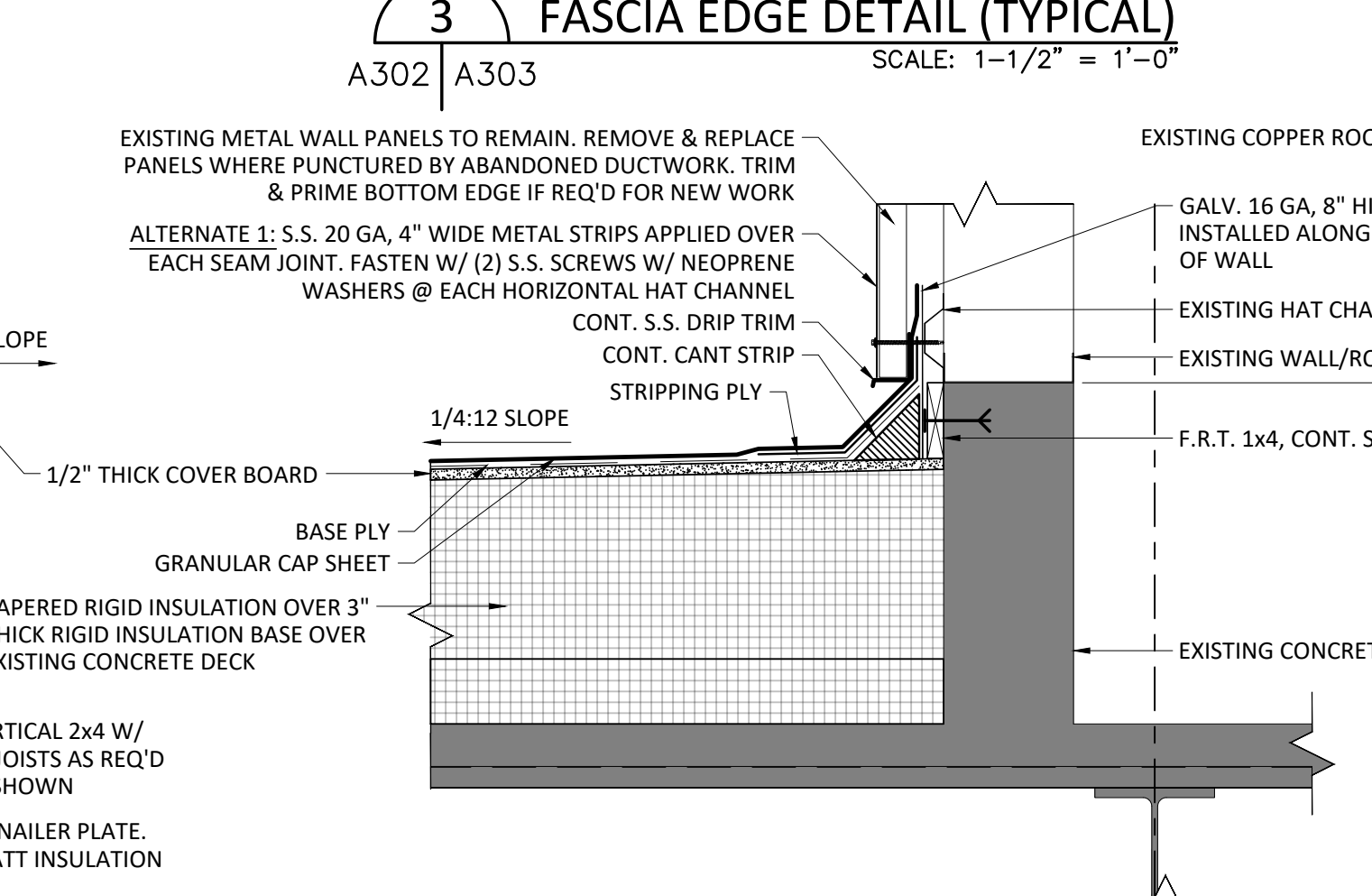
4 VALLEY DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



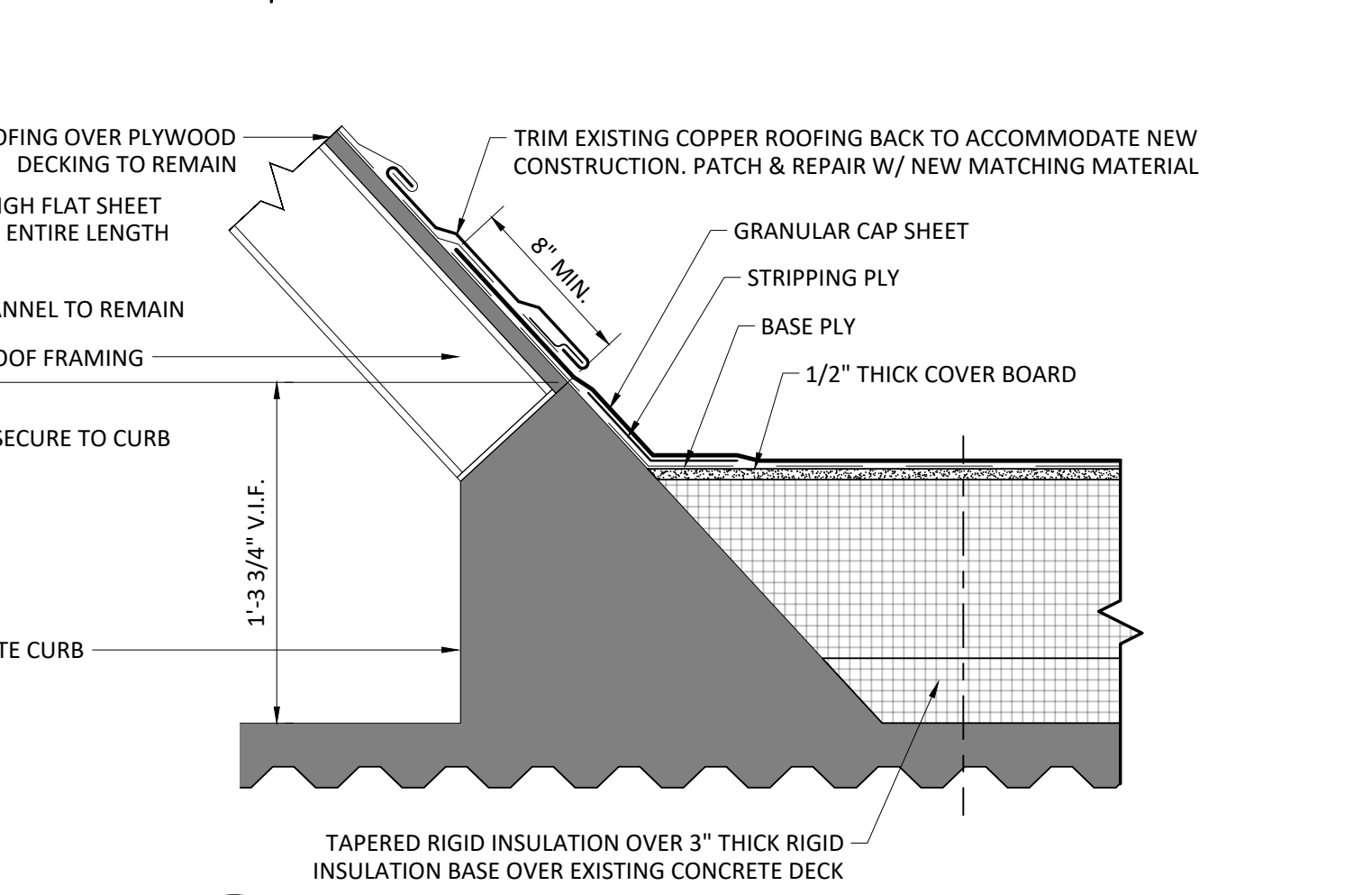
5 PIPE SUPPORT DETAIL
 SCALE: 1-1/2" = 1'-0"



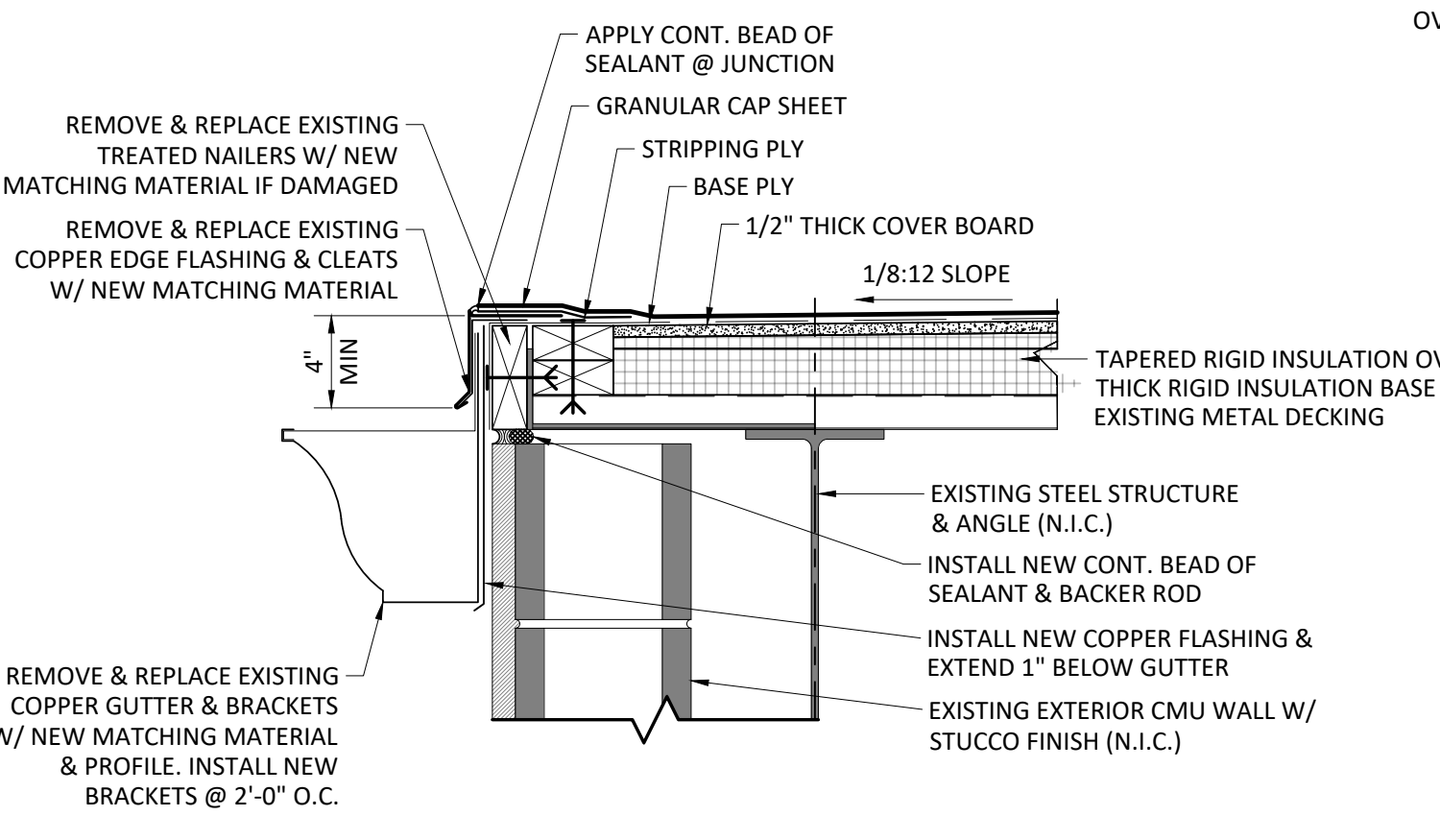
6 EXPANSION JOINT / OVERFLOW DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



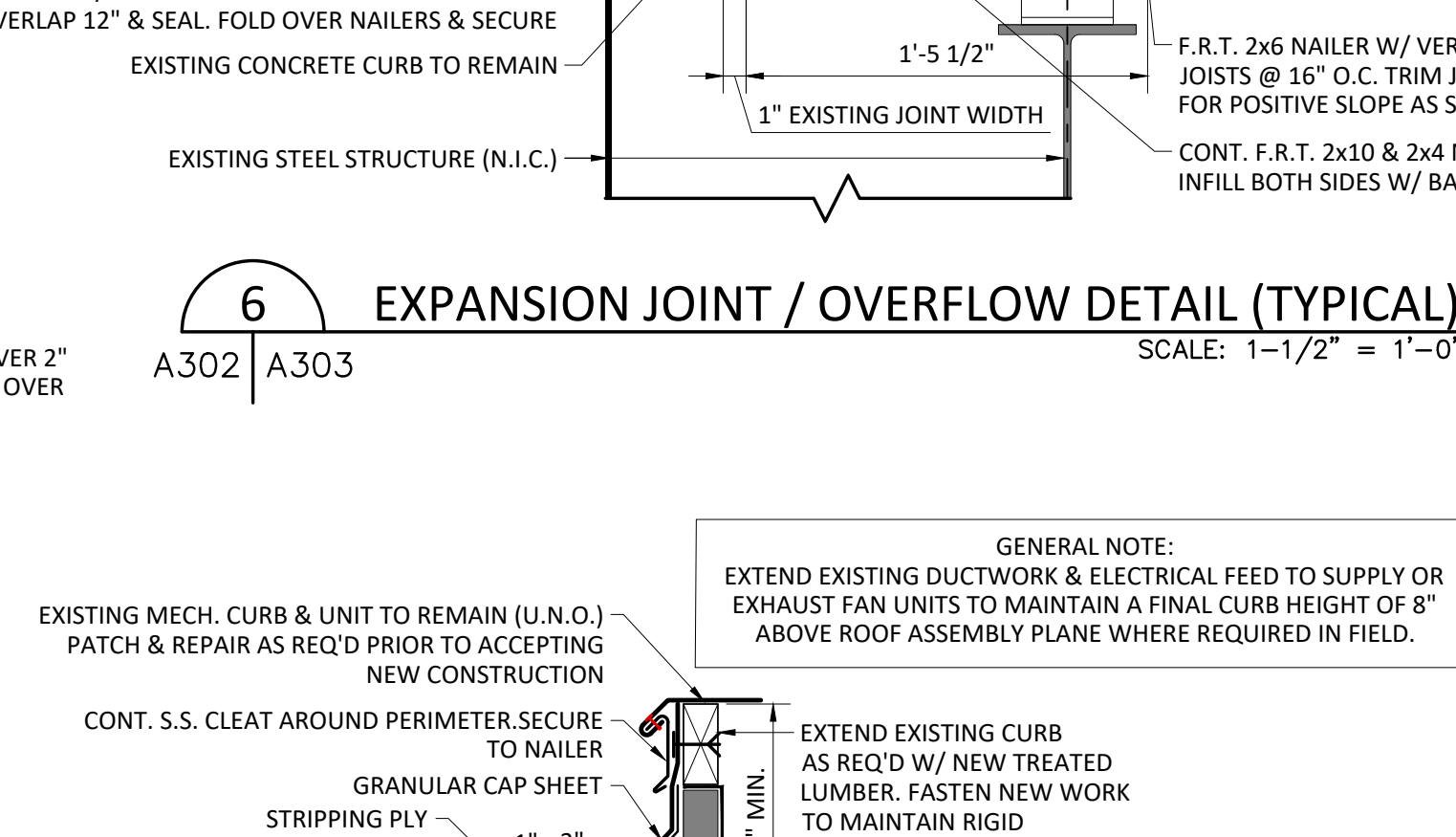
7 ROOF / WALL JUNCTION DETAIL
 SCALE: 1-1/2" = 1'-0"



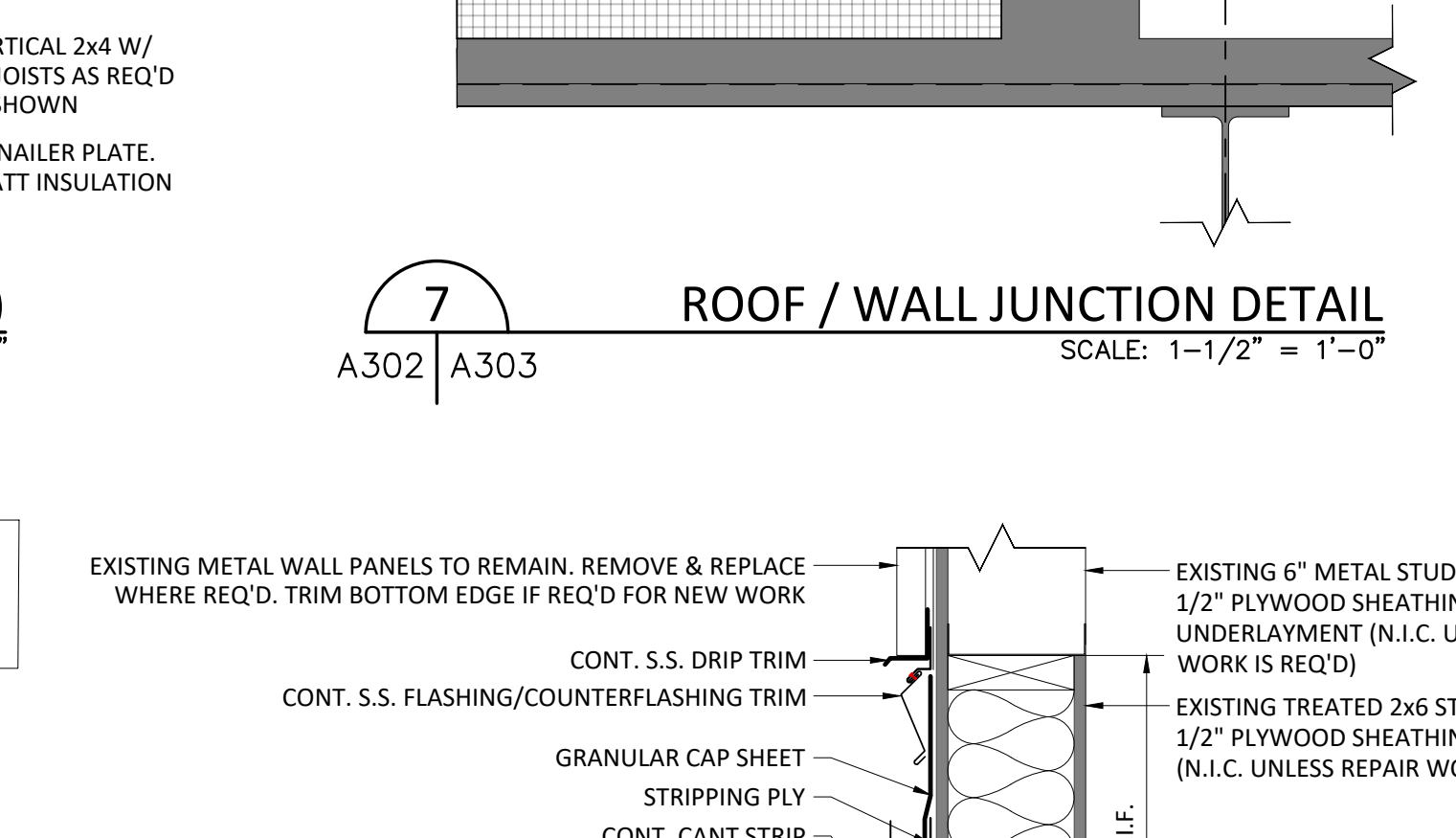
8 SLOPED ROOF / WALL DETAIL
 SCALE: 1-1/2" = 1'-0"



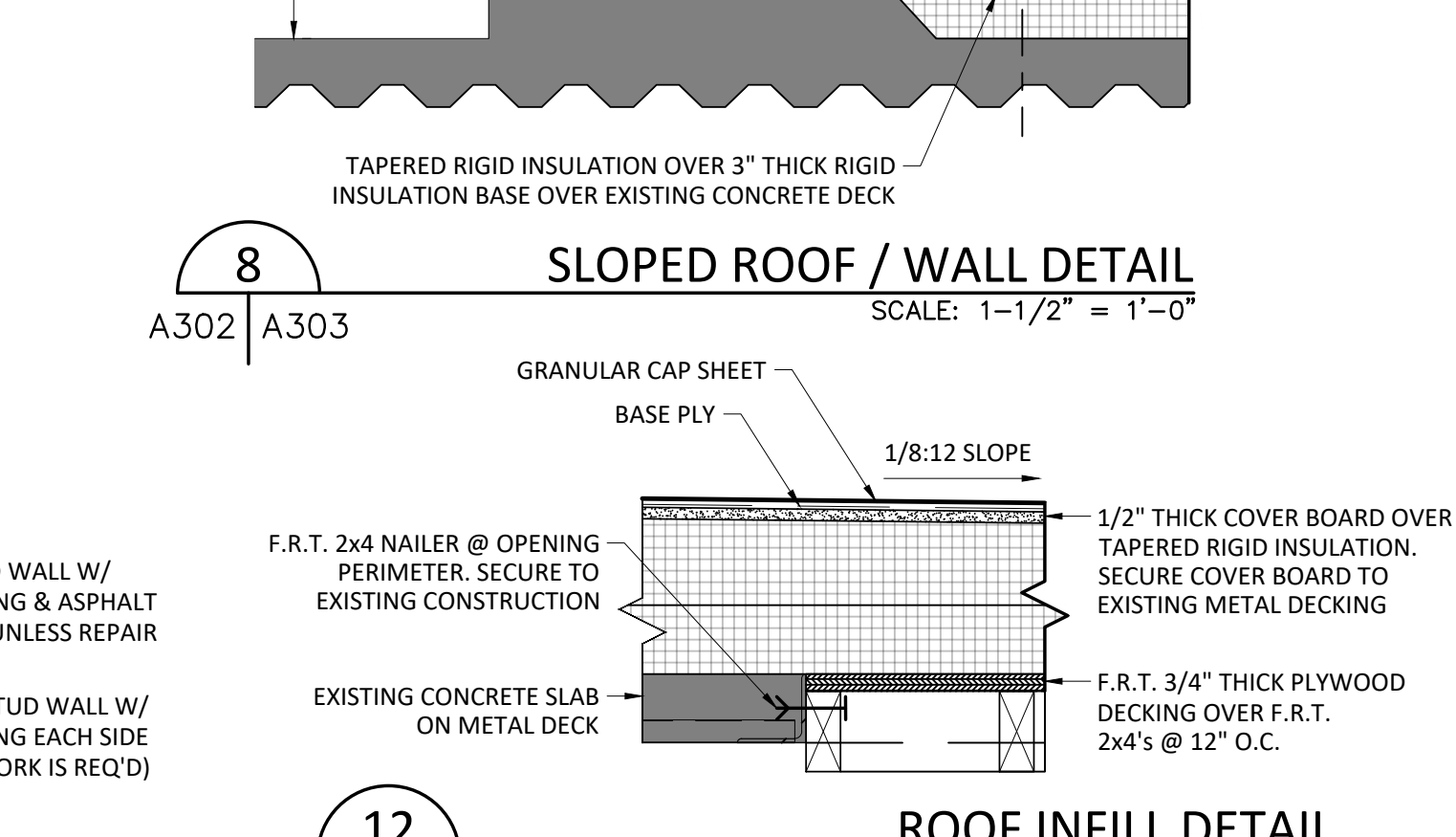
9 COPPER ROOF EDGE DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



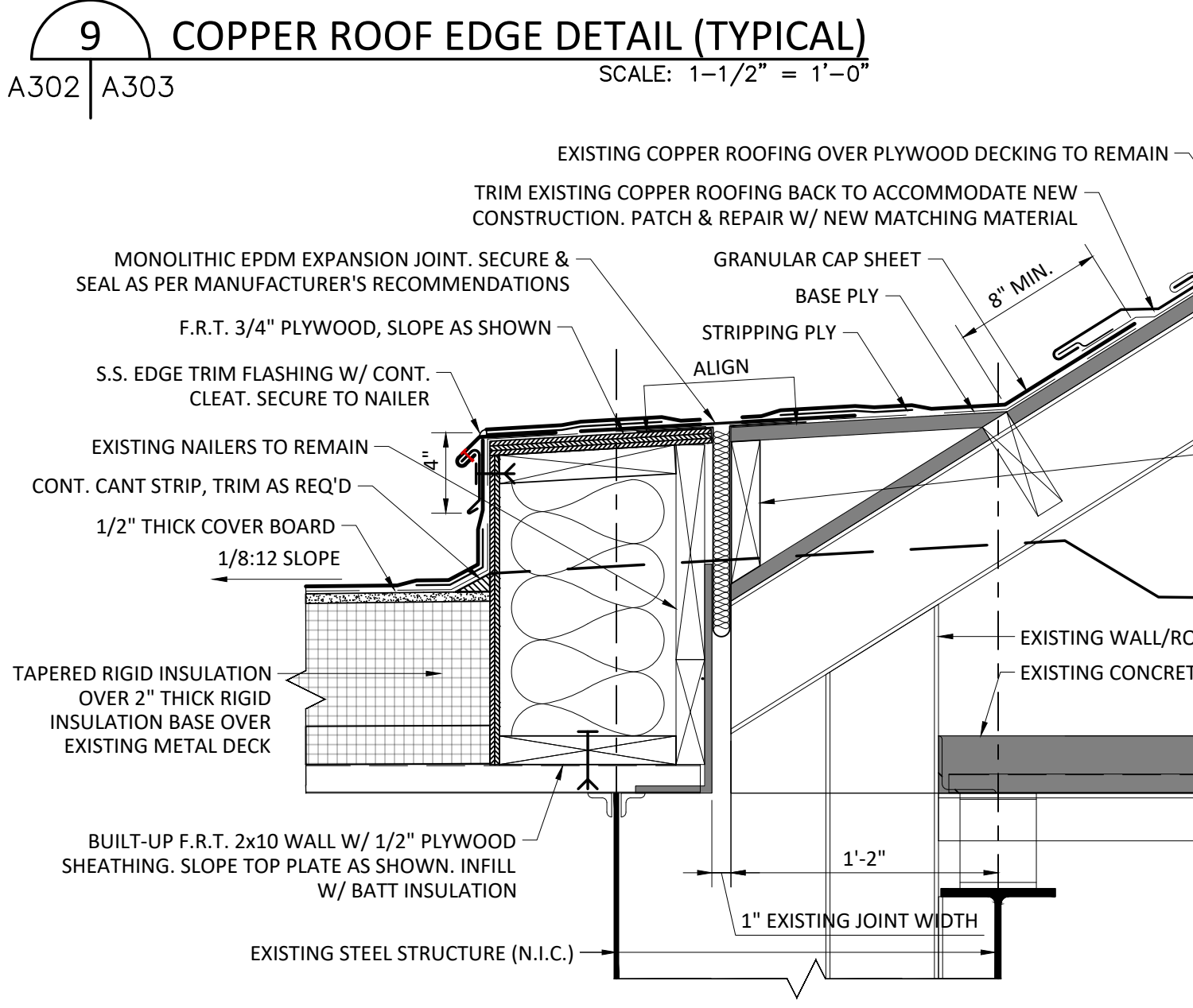
10 RAISED CURB DETAIL
 SCALE: 1-1/2" = 1'-0"



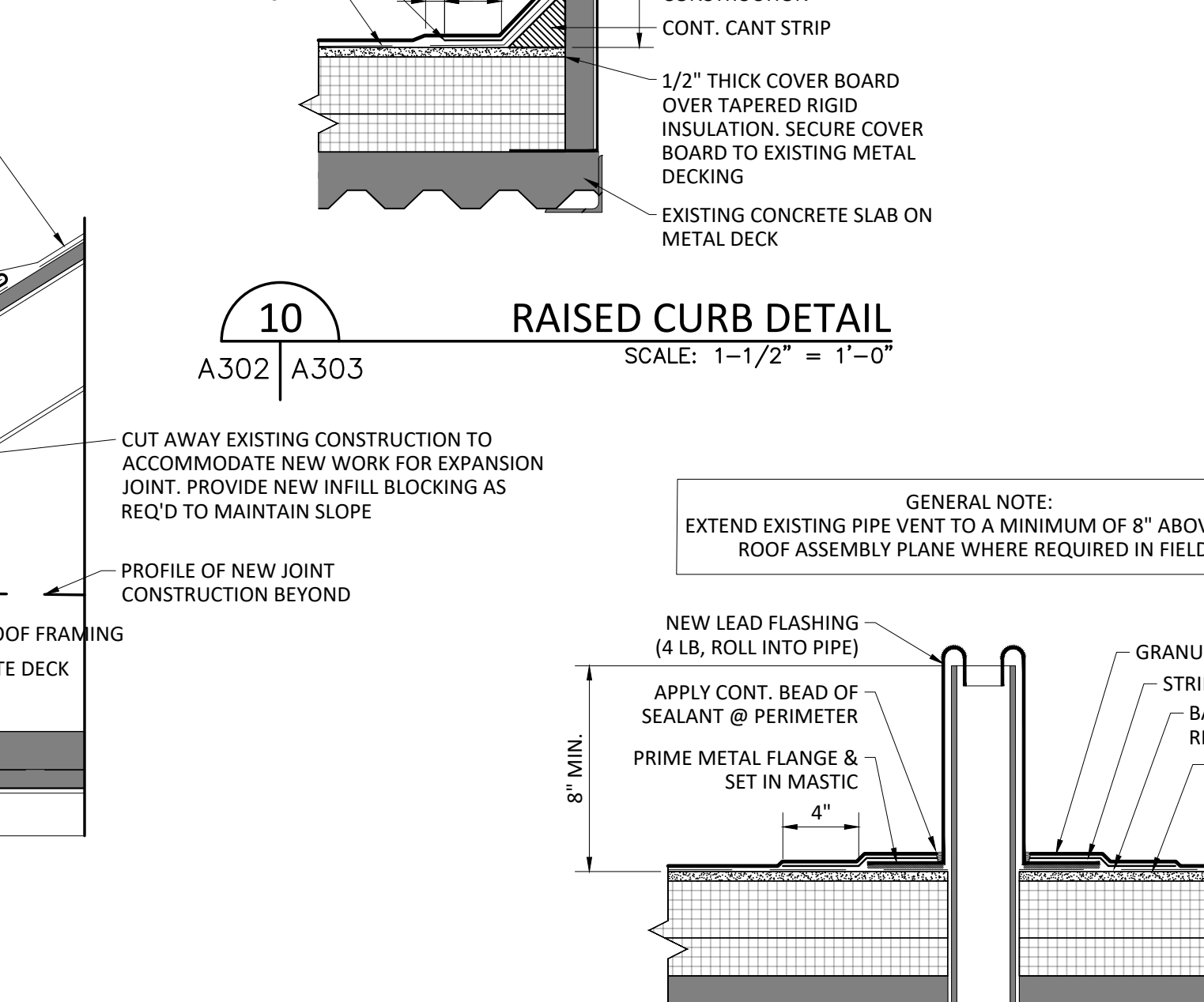
11 ROOF INFILL DETAIL
 SCALE: 1-1/2" = 1'-0"



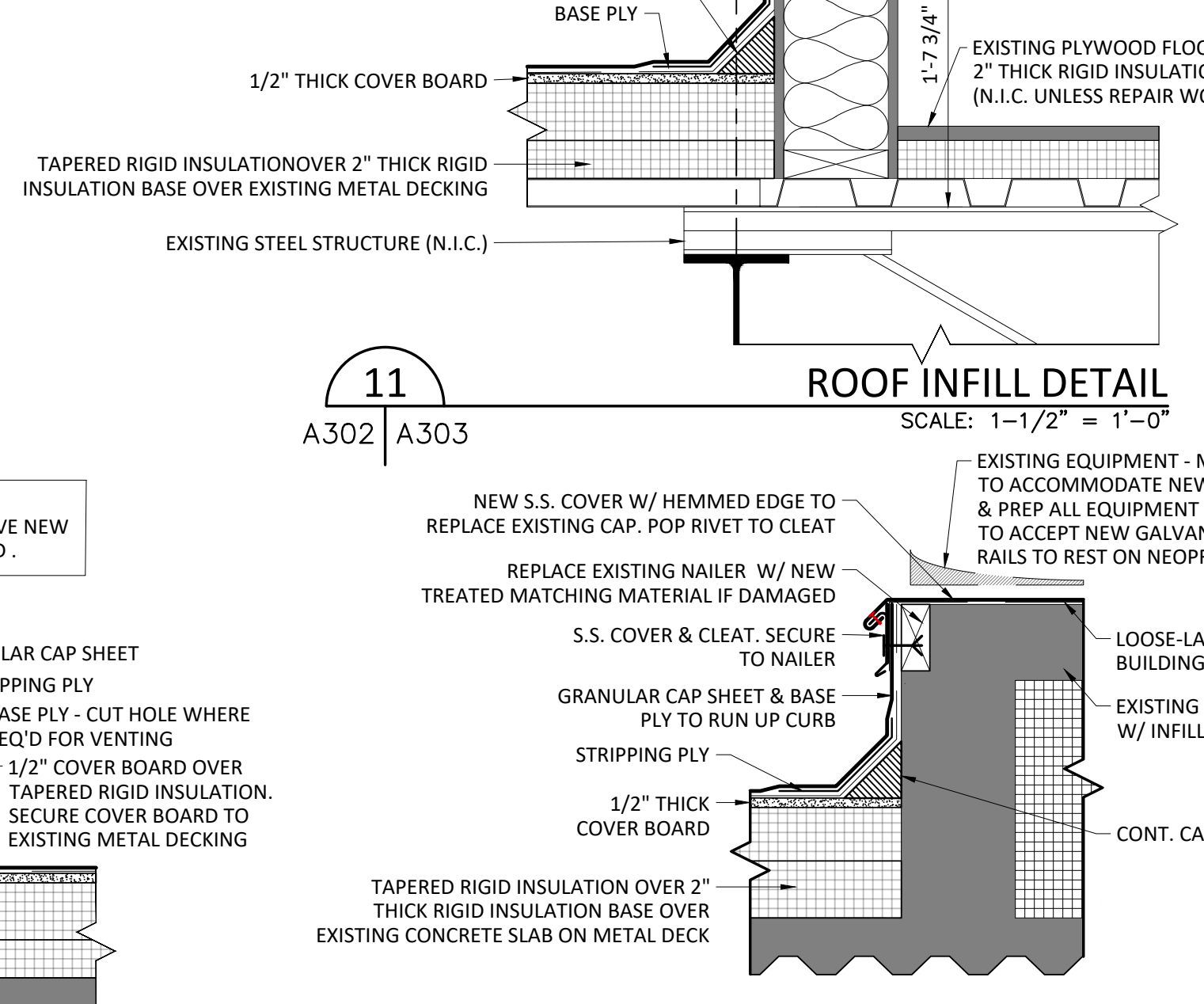
12 ROOF INFILL DETAIL
 SCALE: 1-1/2" = 1'-0"



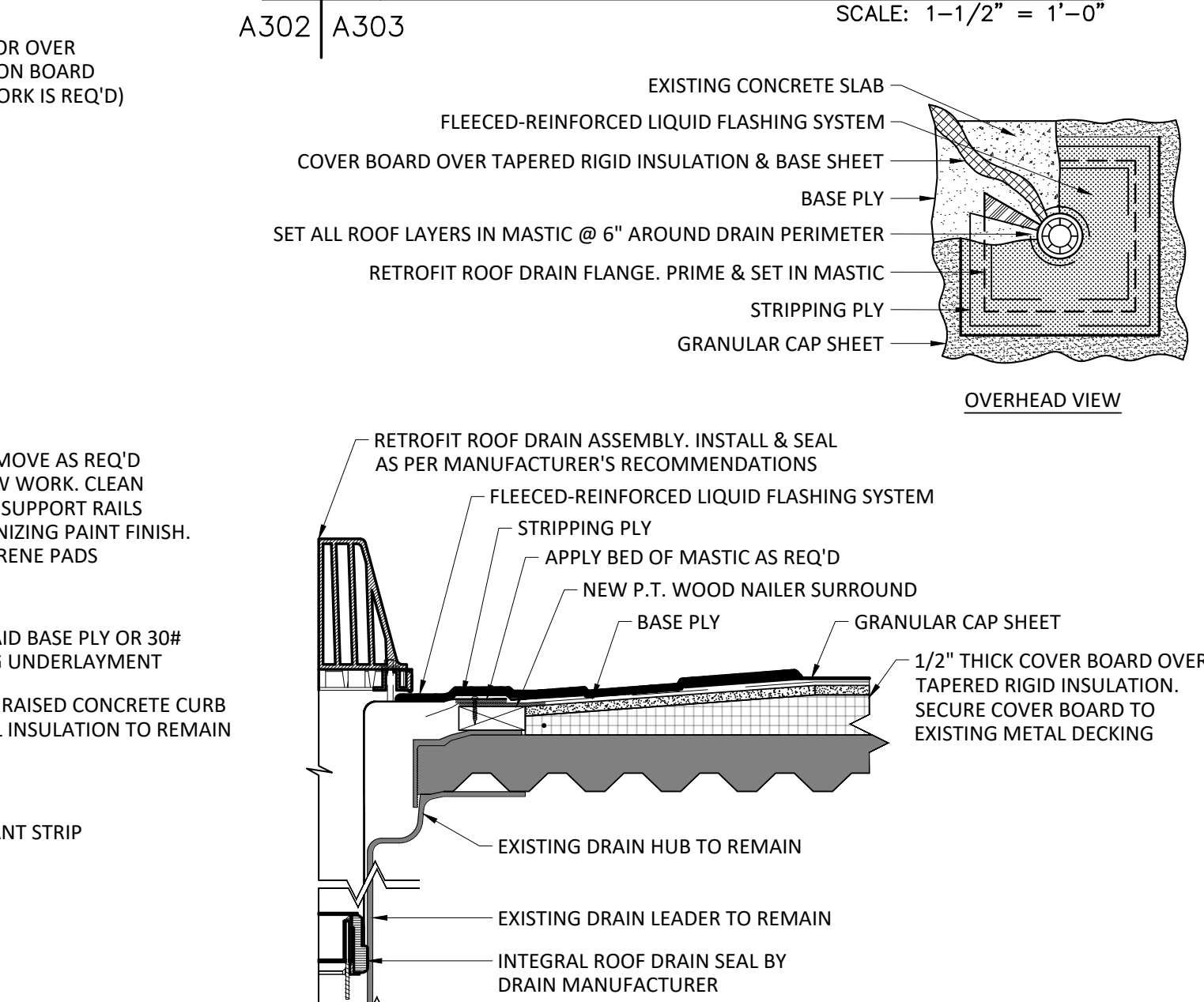
13 RAISED EXPANSION JOINT DETAIL (TYPICAL)
 SCALE: 1-1/2" = 1'-0"



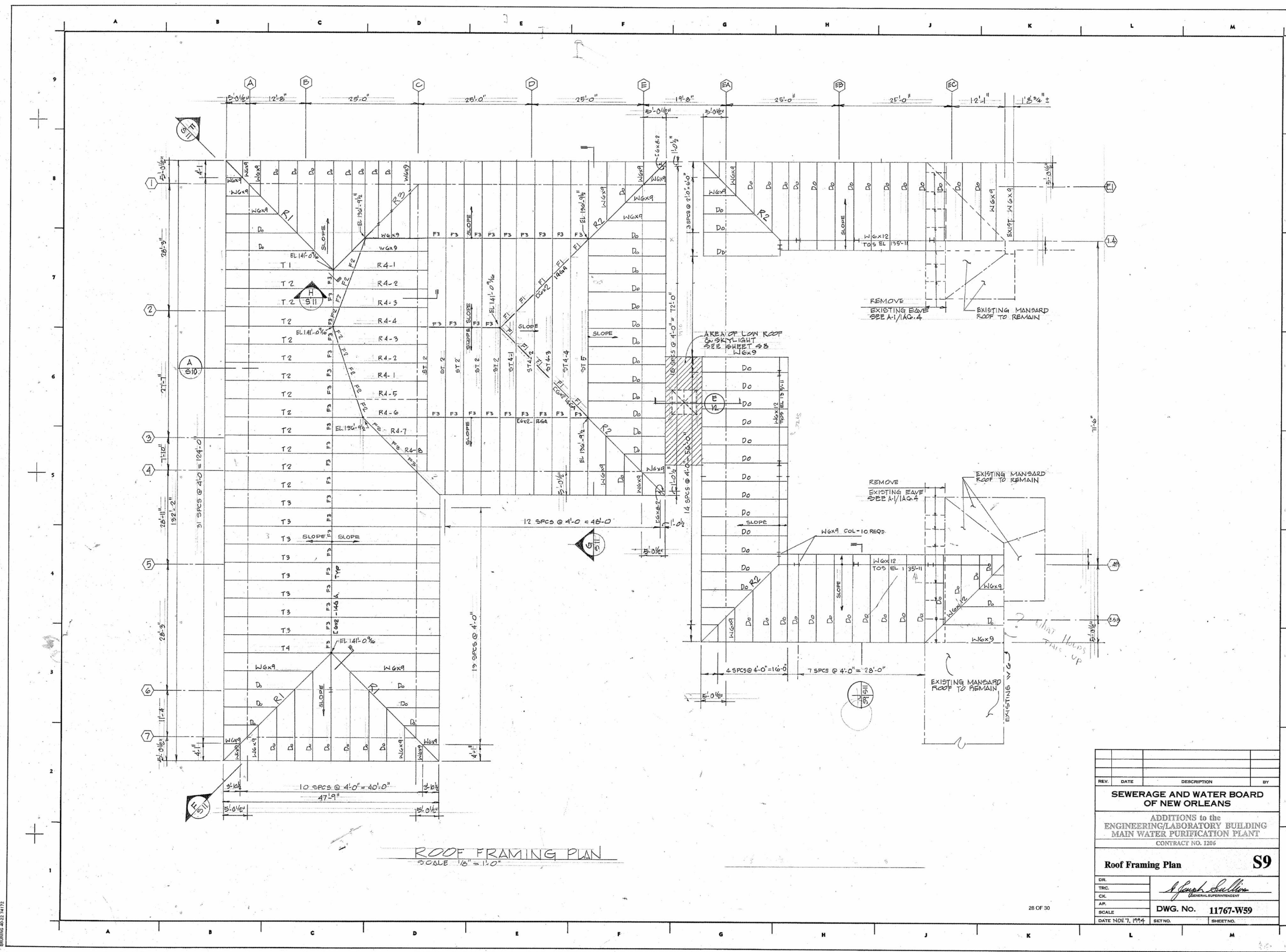
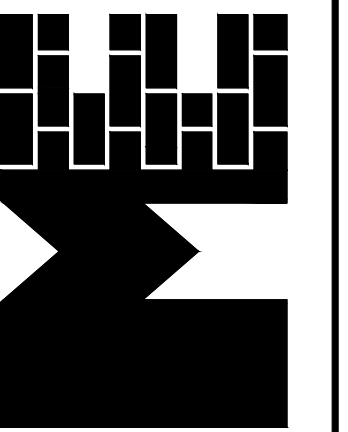
14 VTR DETAIL
 SCALE: 1-1/2" = 1'-0"



15 EQUIPMENT CURB DETAIL
 SCALE: 1-1/2" = 1'-0"



16 RETROFIT ROOF DRAIN DETAIL
 SCALE: 1-1/2" = 1'-0"



REV.	DATE	DESCRIPTION	BY

SEWERAGE AND WATER BOARD OF NEW ORLEANS

ADDITIONS to the
 ENGINEERING/LABORATORY BUILDING
 MAIN WATER PURIFICATION PLANT
 CONTRACT NO. 1285

Roof Framing Plan S9

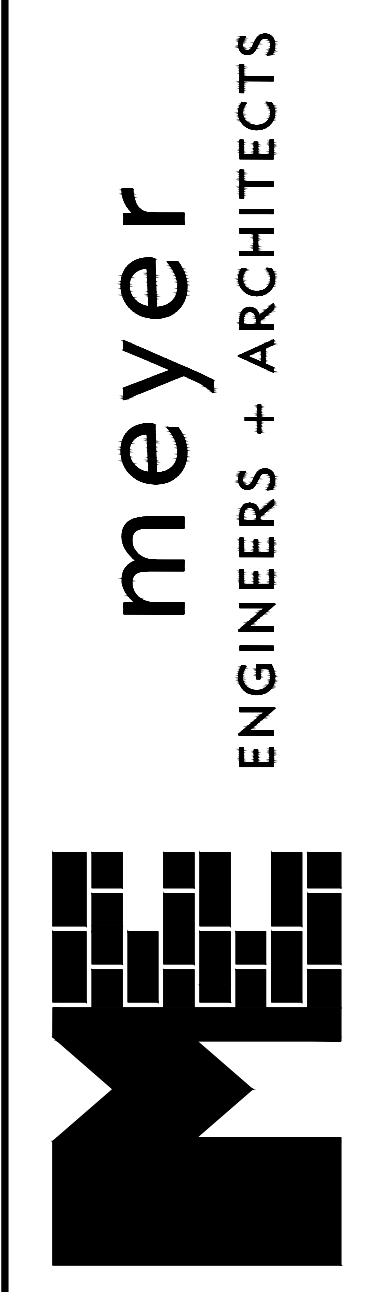
DR.	<i>A. Joseph Sullivan</i>
TRC.	GENERAL SUPERINTENDENT
CK.	
AP.	
SCALE	DWG. No. 11767-W59
DATE NOV 7, 1994	SET NO. SHEET NO.

DISCLAIMER
 DRAWING IS NOT TO SCALE. SHEET S9 - ROOF FRAMING PLAN DWG. NO. 11767-W59 DATED NOV 7, 1994 IS PROVIDED BY OWNER AS REFERENCE FOR IDENTIFICATION PURPOSES. MEYER ENGINEERS DOES NOT CERTIFY OR HAS VERIFIED EXISTING DRAWING FOR ACCURACY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL INFORMATION OBTAINED FROM THIS SHEET PRIOR TO BIDDING FOR THEIR SOLE PURPOSE AND USE.

project no. 25-1130-0046
 drawn JCB
 checked RAK
 date 12.18.2025
 revised

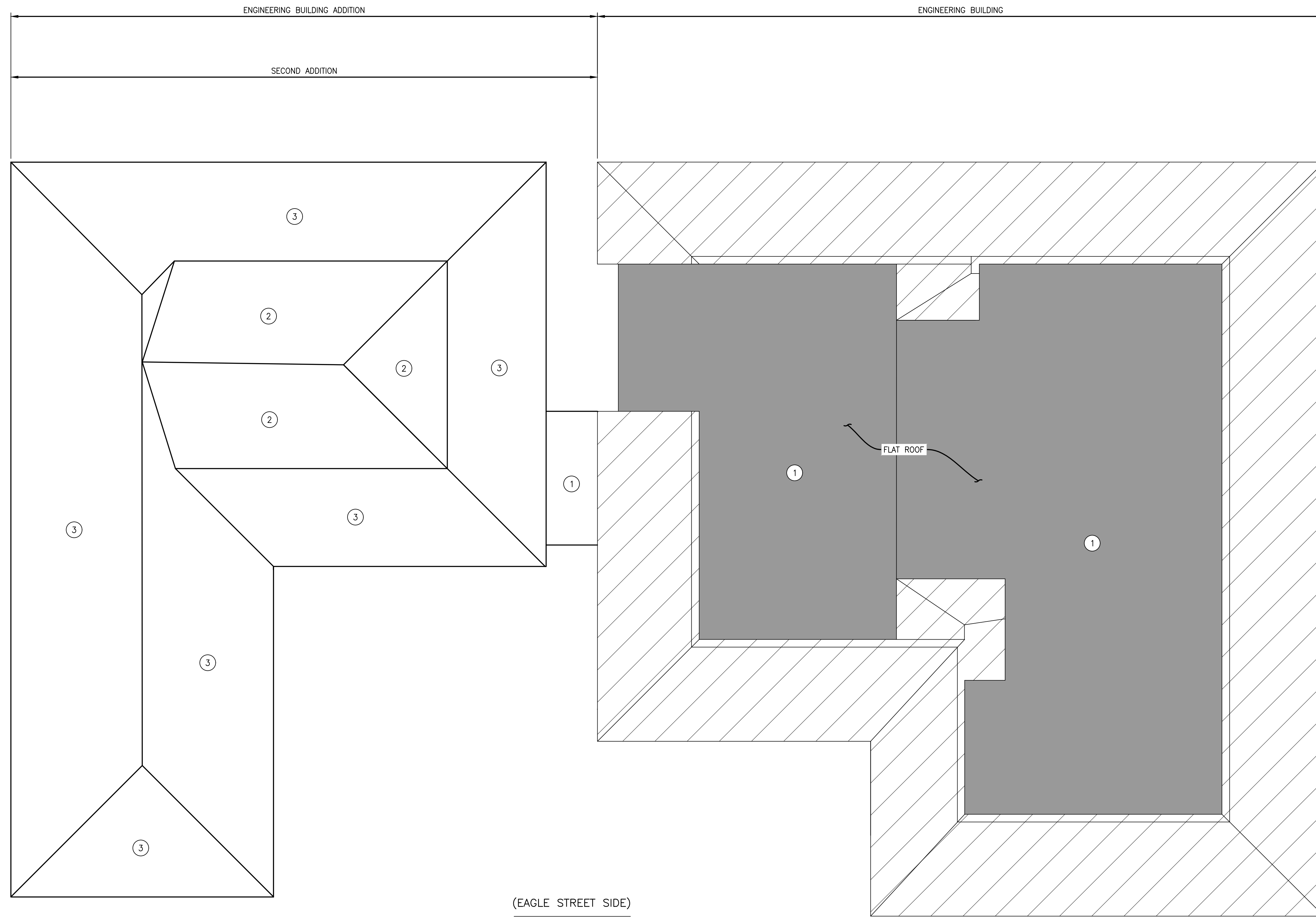


Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com



WIND PRESSURE DIAGRAM
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no. S100
 14 of 16 sheets



MWFRS
 WIND PRESSURE DIAGRAM
 SCALE: NTS

MWFRS NET WIND PRESSURES			
WINDWARD		LEEWARD	
ZONE ①: POS. - 8 PSF NEG. - -50.13 PSF			
ZONE ②: POS. - 8 PSF NEG. - -66.46 PSF	ZONE ②: POS. - N/A NEG. - -41.33 PSF		
ZONE ③: POS. - 19.52 PSF NEG. - -22.37 PSF	ZONE ③: POS. - N/A PSF NEG. - -38.49 PSF		

- NOTES**
1. THE WIND VELOCITY IS 157 MPH, 3 SEC. GUST, ANY HORIZONTAL DIRECTION, PER ASCE/SEI 7-16
 2. EXPOSURE CATEGORY "C", ENCLOSED BUILDING.
 3. POSITIVE IS PUSHING INWARD. NEGATIVE IS PULLING OUTWARD.

LEGEND:
 NOT IN SCOPE

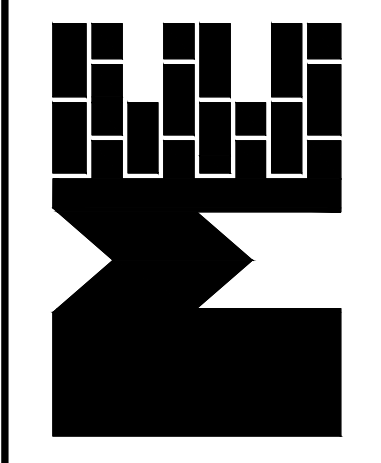


project no. 25-1130-0046
 drawn JCB
 checked RAK
 date 12.18.2025
 revised



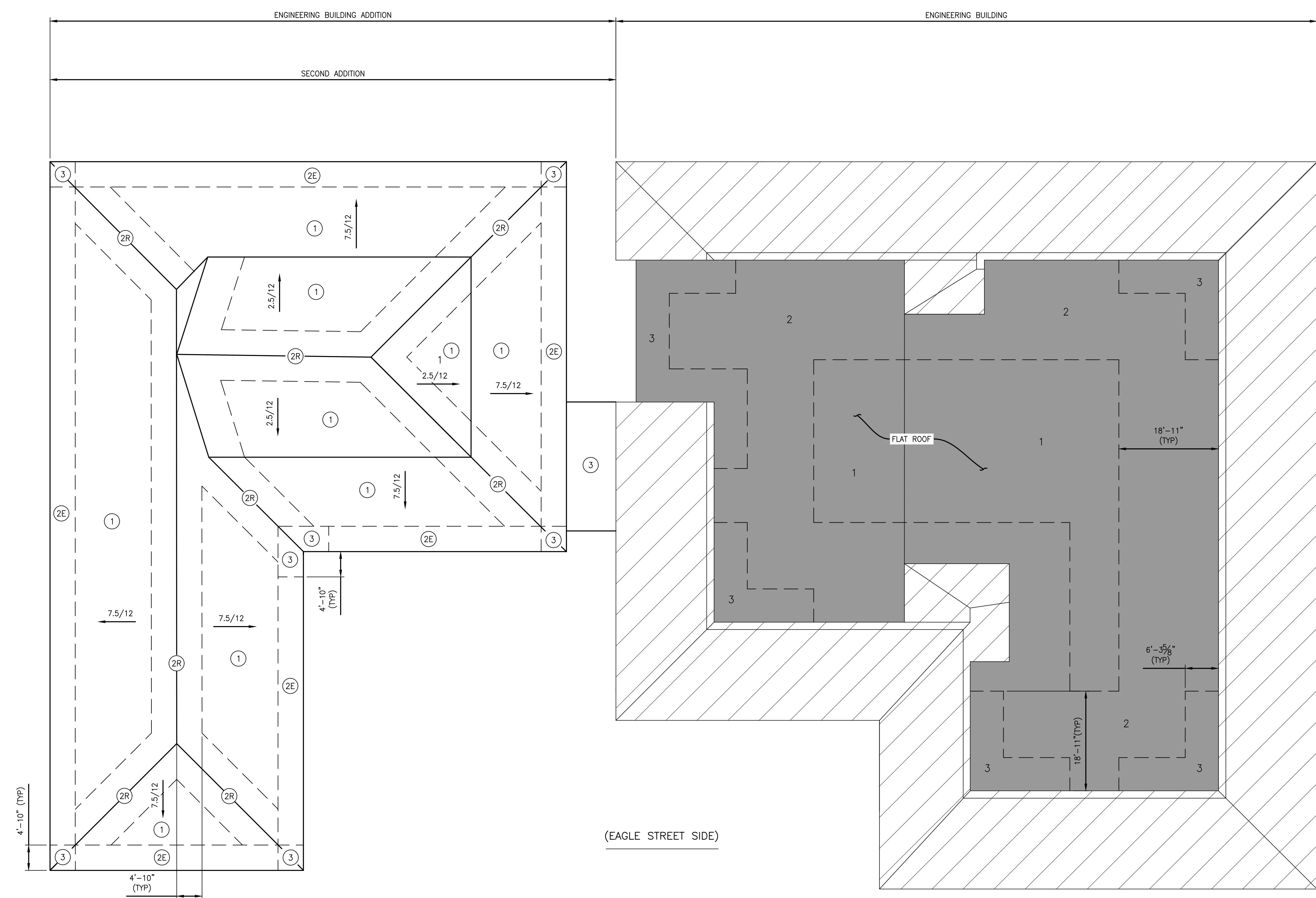
Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-ei.com

meyer
 ENGINEERS + ARCHITECTS



WIND PRESSURE DIAGRAM
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
S101
 15 of 16 sheets



COMPONENTS & CLADDING
 WIND PRESSURE DIAGRAM
 SCALE: NTS

COMPONENTS AND CLADDING NET WIND PRESSURES				
	2.5/12 SLOPE		7.5/12 SLOPE	
ZONE ①:	32 PSF	-77.2 PSF	46.5 PSF	-74.5 PSF
ZONE ②E:	32 PSF	-77.2 PSF	46.5 PSF	-74.5 PSF
ZONE ②R:	32 PSF	-126.8 PSF	46.5 PSF	-74.5 PSF
ZONE ③:	-	-	46.5 PSF	-114.4 PSF
FLAT ROOF				
ZONE ①:	23.8 PSF		-62.7 PSF	
ZONE ②:	23.8 PSF		-122.6 PSF	
ZONE ③:	23.8 PSF		-153.5 PSF	

LEGEND:
 NOT IN SCOPE

NOTES:
 1. THE WIND VELOCITY IS 157 MPH, 3 SEC. GUST,
 ANY HORIZONTAL DIRECTION, PER ASCE/SEI 7-16
 2. EXPOSURE CATEGORY "C", ENCLOSED BUILDING
 3. POSITIVE IS PUSHING INWARD. NEGATIVE IS PULLING OUTWARD.

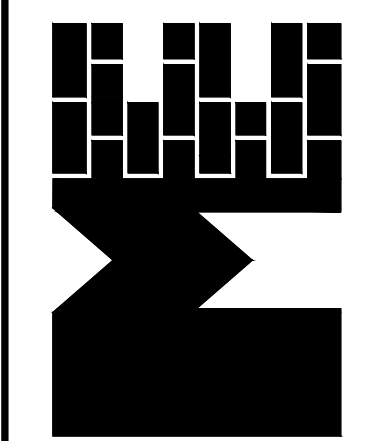


project no. 25-1130-0046
 drawn JCB
 checked RAK
 date 12.18.2025
 revised



Meyer Engineers, Ltd.
 A Thompson Holdings Company
 4937 Hearst Street | Suite 1B
 Metairie, Louisiana 70001
 504.885.9892 (o)
 www.meyer-el.com

meyer
 ENGINEERS + ARCHITECTS

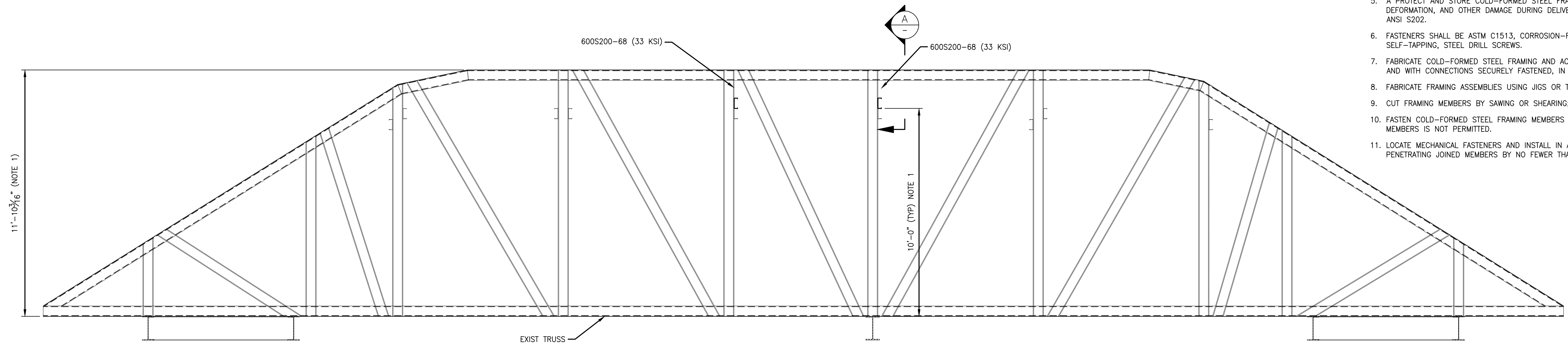


TRUSS DETAIL
 REPAIRS TO THE ENGINEERING BUILDING
 8800 S. Claiborne Avenue, New Orleans, LA 70118
 CONTRACT: 8174, SWB DWG NO: 12312-W-43

sheet no.
S102
 16 of 16 sheets

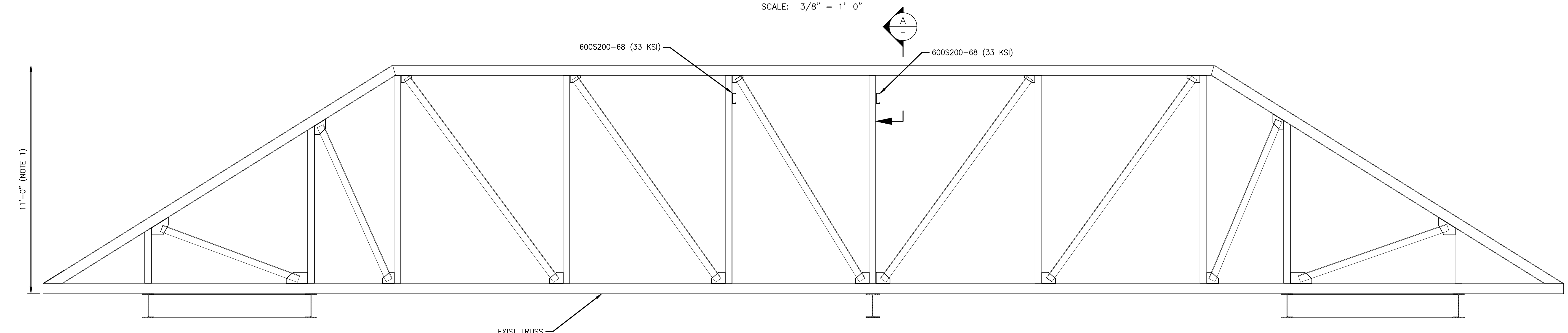
NOTES:

1. TRUSSES SHOWN WERE DRAWN ACCORDING TO "ADDITIONS TO THE ENGINEERING LABORATORY BUILDING MAIN WATER PURIFICATION PLANT" DRAWINGS, DATED 11/7/1994. INFERENCES WERE MADE WHERE REQUIRED & FIELD VERIFICATION OF TRUSS LAYOUT, LOCATION, MEMBER SIZES, ETC WAS NOT PERFORMED.
2. FIELD VERIFY LAYOUT OF TRUSS & MEMBER SIZES PRIOR TO BEGINNING WORK. IMMEDIATELY NOTIFY OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INDIVIDUAL MEANS AND METHODS TO PERFORM WORK AS INDICATED ON THIS SHEET. EXISTING BUILDING CONSTRUCTION FROM TOP OF ROOF OR WITHIN BUILDING (E. PLYWOOD DECKING, INSULATION, BRACING, CEILING SYSTEMS, ELECTRICAL, HVAC, ETC.) REMOVED TO PERFORM WORK SHALL BE REPLACED NEW TO MATCH IN KIND IN ALL RESPECTS.
4. SEE REFERENCE DWG NO.11767-W59 FOR TRUSS LOCATIONS.
5. A PROTECT AND STORE COLD-FORMED STEEL FRAMING FROM CORROSION, MOISTURE STAINING, DEFORMATION, AND OTHER DAMAGE DURING DELIVERY, STORAGE, AND HANDLING AS REQUIRED IN ANSI S202.
6. FASTENERS SHALL BE ASTM C1513, CORROSION-RESISTANT-COATED, SELF-DRILLING, SELF-TAPPING, STEEL DRILL SCREWS.
7. FABRICATE COLD-FORMED STEEL FRAMING AND ACCESSORIES PLUMB, SQUARE, AND TRUE TO LINE, AND WITH CONNECTIONS SECURELY FASTENED, IN ACCORDANCE WITH AISI S240 AND STANDARDS.
8. FABRICATE FRAMING ASSEMBLIES USING JIGS OR TEMPLATES.
9. CUT FRAMING MEMBERS BY SAWING OR SHEARING; DO NOT TORCH CUT.
10. FASTEN COLD-FORMED STEEL FRAMING MEMBERS BY SCREW FASTENING. WIRE TYING OF FRAMING MEMBERS IS NOT PERMITTED.
11. LOCATE MECHANICAL FASTENERS AND INSTALL IN ACCORDANCE WITH DRAWINGS, WITH SCREWS PENETRATING JOINED MEMBERS BY NO FEWER THAN THREE EXPOSED SCREW THREADS.



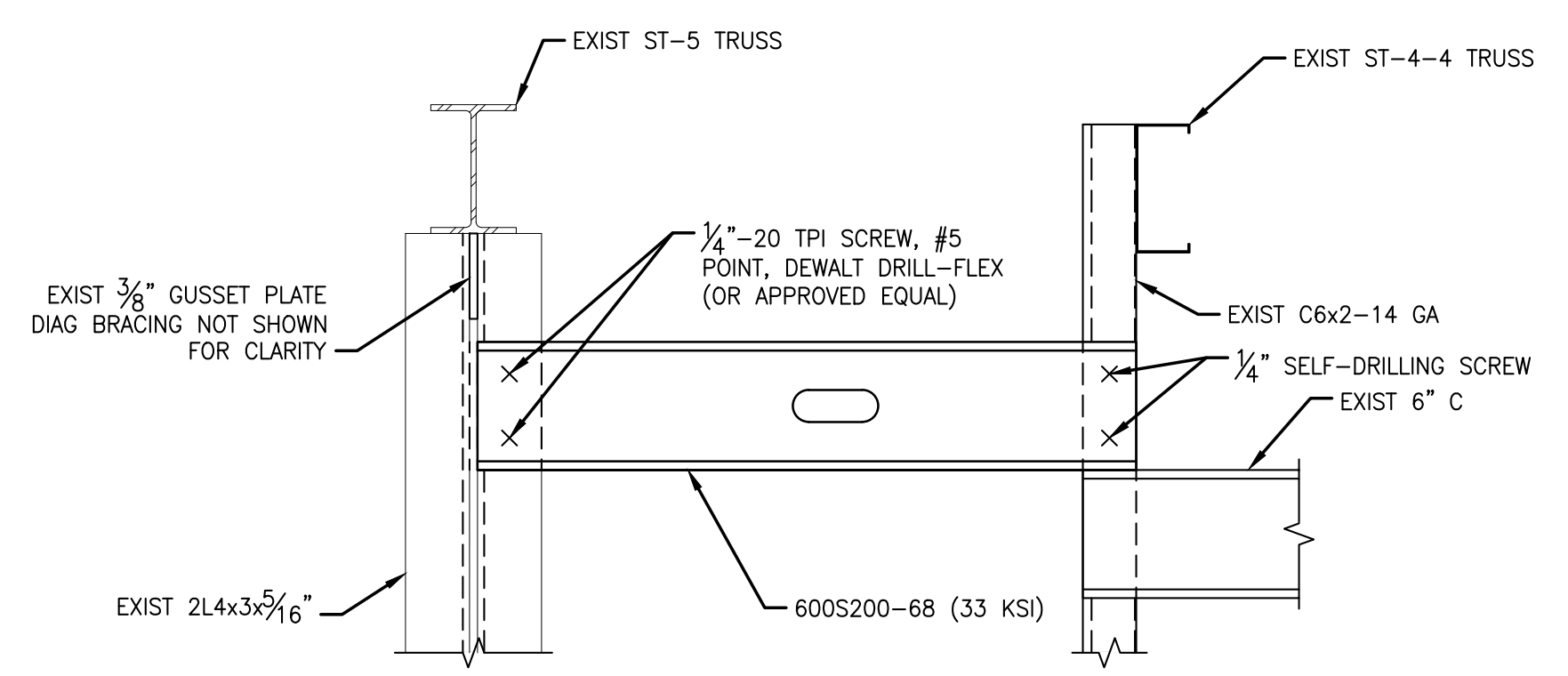
TRUSS ST-4-4

SCALE: 3/8" = 1'-0"



TRUSS ST-5

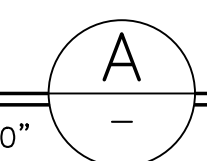
SCALE: 3/8" = 1'-0"



(2 REQ'D)

SECTION

SCALE: 1-1/2" = 1'-0"



FIRM No: LA - EF. 0003109
 IEC Project No 25-073
 Civil-Structural-Mechanical-Electrical-Marine-Transportation
 Metairie, LA www.infinityec.com 504-304-0548